

CIVIL CONSTRUCTION DOCUMENTS FOR CANNON CENTER FOR THE PERFORMING ARTS- VISITOR DROP-OFF

255 N. MAIN STREET
MEMPHIS, SHELBY COUNTY, TENNESSEE

PROJECT NARRATIVE:

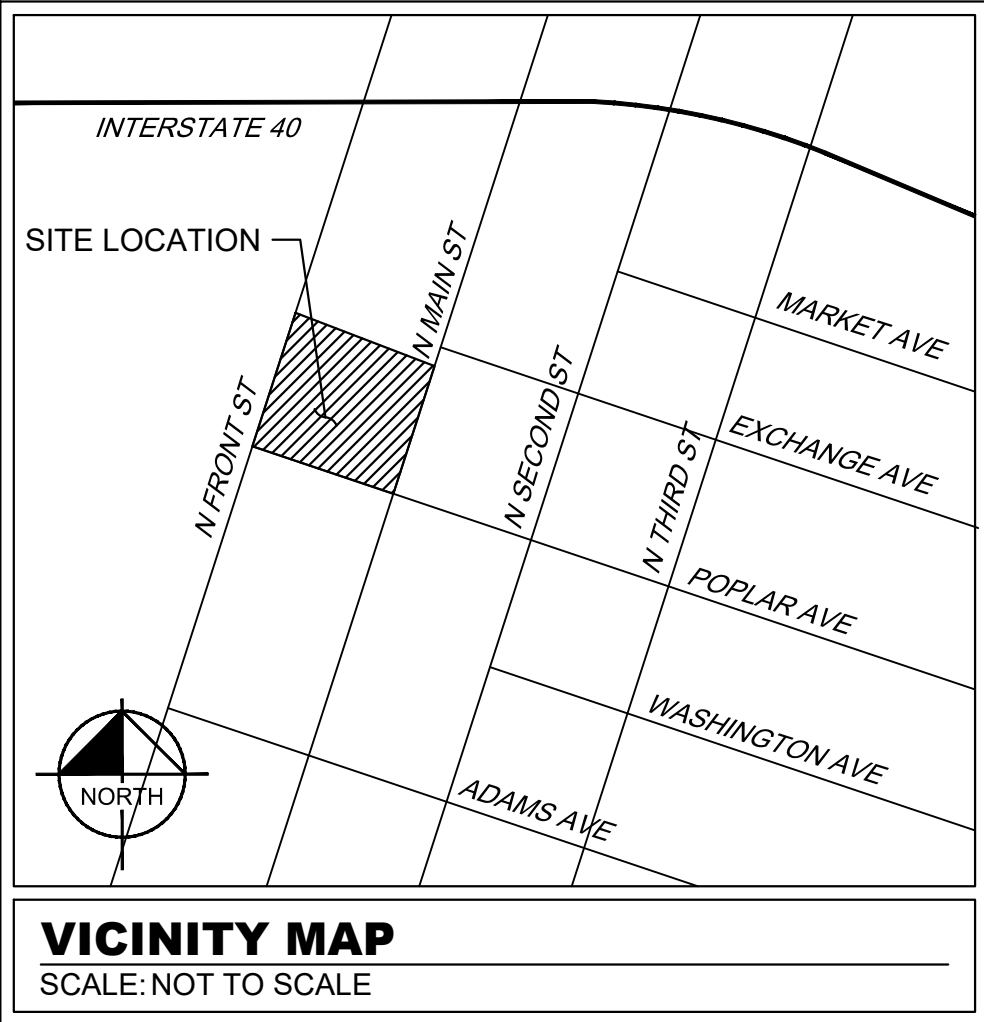
THE SCOPE OF THIS PROJECT IS TO CONSTRUCT A VISITOR DROP-OFF FOR THE CANNON CENTER FOR THE PERFORMING ARTS AT 255 N POPLAR AVENUE IN MEMPHIS, SHELBY COUNTY, TENNESSEE. THE OVERALL PROJECT AREA IS APPROXIMATELY 4.1 ACRES IN SIZE. THE PROJECT WILL CONSIST OF THE DEMOLITION OF A PORTION OF THE EXISTING PLAZA, CONSTRUCTION OF THE NEW DROP-OFF DRIVE ALONG WITH THE ASSOCIATED DRIVE APRONS,

NOI:

BECAUSE THIS PROJECT WILL DISTURB LESS THAN ONE (1) ACRE, IT WILL NOT BE COVERED UNDER A NPDES CONSTRUCTION STORM WATER GENERAL PERMIT ISSUED BY THE TENNESSEE DEPARTMENT OF ENVIRONMENTAL CONSERVATION. A SWPPP AND NOI WILL NOT BE SUBMITTED FOR THIS PROJECT.

NOTES:

- ATTENTION IS DRAWN TO THE FACT THAT THE SCALE OF THESE DRAWINGS MAY HAVE BEEN DISTORTED DURING THE REPRODUCTION PROCESS. THIS DOCUMENT, TOGETHER WITH THE CONCEPTS AND DESIGNS PRESENTED HEREIN, AS AN INSTRUMENT OF SERVICE, IS INTENDED ONLY FOR THE SPECIFIC PURPOSE AND CLIENT FOR WHICH IT WAS PREPARED. REUSE OF AND IMPROPER RELIANCE ON THIS DOCUMENT WITHOUT WRITTEN AUTHORIZATION AND ADAPTATION FROM KIMLEY-HORN AND ASSOCIATES, INC. SHALL BE WITHOUT LIABILITY TO KIMLEY-HORN AND ASSOCIATES, INC.
- IF ANY CONFLICTS, DISCREPANCIES, OR ANY OTHER UNSATISFACTORY CONDITIONS ARE DISCOVERED, EITHER ON THE CONSTRUCTION DOCUMENTS OR FIELD CONDITION, THE CONTRACTOR MUST NOTIFY THE ENGINEER IMMEDIATELY AND SHALL NOT COMMENCE FURTHER OPERATIONS UNTIL THE CONFLICTS, DISCREPANCIES, OR OTHER UNSATISFACTORY CONDITIONS ARE RESOLVED.
- THE APPROVAL OF THESE PLANS AND THE ISSUANCE OF A STREET CUT PERMIT DOES NOT IN ANY WAY SUGGEST THAT ALL OTHER REQUIREMENTS FOR THE LEGAL OR APPROPRIATE OPERATIONS FOR THIS ACTIVITY, WHICH MAY REQUIRE ADDITIONAL PERMITTING, HAVE BEEN MET. THE ONUS IS ON THE OWNER/BUILDER/DEVELOPER TO DISCOVER WHAT ADDITIONAL PERMITTING OR APPROVALS MAY BE NECESSARY TO OPERATE FROM THIS POINT IN AN APPROPRIATE AND LEGAL MANNER. PLAN APPROVAL OR PERMIT ISSUANCE DOES NOT ABSOLVE THE APPLICANT FROM COMPLYING WITH ALL APPLICABLE LAWS, STANDARDS, OR OTHER PERMITS WHICH MAY BE REQUIRED FOR THIS PROJECT.
- THESE PLANS HAVE BEEN PREPARED IN ACCORDANCE WITH THE CITY OF MEMPHIS ORDINANCES.
- THIS PROPERTY DOES NOT LIE WITHIN AN AREA DESIGNATED AS A SPECIAL FLOOD AREA, AS SHOWN ON THE FEMA FIRM PANEL 470177 0270F DATED SEPTEMBER 28, 2007.



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C7-00	CONSTRUCTION DETAILS
C7-01	CONSTRUCTION DETAILS
L1-00	LANDSCAPE PLAN
L1-50	LANDSCAPE NOTES AND DETAILS

CLIENT

RENASANT CONVENTION CENTER
FOR THE PERFORMING ARTS
255 N. MAIN STREET
MEMPHIS, TN 38103
PHONE: (901) 576-1200
CONTACT: DEAN DENNIS

CIVIL ENGINEER

KIMLEY-HORN AND ASSOCIATES, INC.
6750 POPLAR AVENUE SUITE 600
MEMPHIS, TN 38138
PHONE: (901) 374-9109
CONTACT: JARMON PEREGOY, P.E.

LANDSCAPE ARCHITECT

KIMLEY-HORN AND ASSOCIATES, INC.
6750 POPLAR AVENUE SUITE 600
MEMPHIS, TN 38138
PHONE: (901) 374-9109
CONTACT: MICHAEL SHELTON, PLA

SURVEY

HARRIS & ASSOCIATES LAND SURVEYORS, LLC
554 GREEN TREE COVE, SUITE 102B
COLLIERVILLE, TN 38017
PHONE: (901) 362-2345
CONTACT: JEFF HARRIS

PERMITTING / UTILITY CONTACTS

CITY OF MEMPHIS

CITY OF MEMPHIS LAND DEVELOPMENT
125 N MAIN ST SUITE 644
MEMPHIS, TN 38134
PHONE: (901) 636-6700
CONTACT: JANNIRA GREGORY

BUILDING DEPT.

SHELBY COUNTY CODE ENFORCEMENT
6465 MULLINS STATION ROAD
MEMPHIS, TN 38134
PHONE: (901) 222-8350
CONTACT: BOBBY DECKER

PLANNING DEPARTMENT

CITY OF MEMPHIS
DIVISION OF PLANNING AND DEVELOPMENT
125 NORTH MAIN STREET
MEMPHIS, TN 38103
PHONE: (901) 636-6601
CONTACT: CHIP SALIBA

FIRE DEPARTMENT

MEMPHIS DIVISION OF FIRE SERVICES
65 S. FRONT STREET
MEMPHIS, TN 38103
PHONE: (901) 636-1400
CONTACT: JD STINSON - INSPECTOR
DARYL PAYTON - FIRE CHIEF

ELECTRIC, GAS, AND WATER

MEMPHIS LIGHT GAS AND WATER
220 SOUTH MAIN STREET
MEMPHIS, TN 38103
PHONE: (901) 528-4270
CONTACT: TOM WORD

SANITARY SEWER

CITY OF MEMPHIS
DIVISION OF ENGINEERING
125 NORTH MAIN STREET
MEMPHIS, TN 38103
PHONE: (901) 636-6725
CONTACT: FARADOON QALADIZE



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6750 POPLAR AVENUE, SUITE 600, MEMPHIS TN 38138
PHONE: 901-374-9109
WWW.KIMLEY-HORN.COM

**CANNON CENTER
VISITOR DROP-OFF**

OWNER: CANNON CENTER FOR THE PERFORMING ARTS
ENGINEER: KIMLEY-HORN AND ASSOCIATES, INC.

BENCHMARK
CITY OF MEMPHIS BENCH MARK # 1406: LOCATED AT THE INTERSECTION OF DANNY THOMAS BOULEVARD & WASHINGTON AVENUE. ELEVATION = 229.89 (NAVD88)

100 YEAR FLOOD ELEVATION 233.00±
PER F.E.M.A PANEL 470177 0270F DATED SEPTEMBER 28, 2007, THIS PROPERTY IS LOCATED IN ZONE X "AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN".

SEWER BASIN ID: FS-2
DRAINAGE BASIN: GAYOSO BAYOU 1-G

DWG NO.

C0-00

SHEET 1 OF 3

DIVISION OF ENGINEERING

COVER SHEET

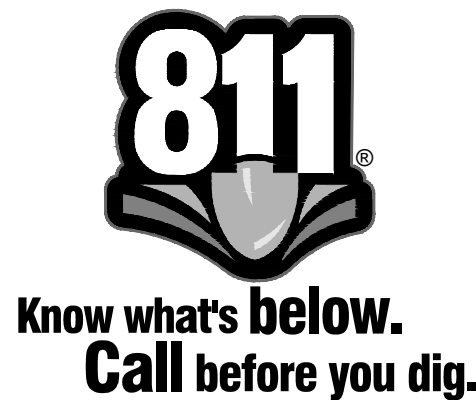
LOCATION: 255 N MAIN STREET
MEMPHIS, TN 38103

SURVEY HARRIS & ASSOC. DATE: 04/17/2023 BOOK: SEE SURVEY
DESIGN BY KHA DATE: 07/18/2023 SCALE: AS NOTED

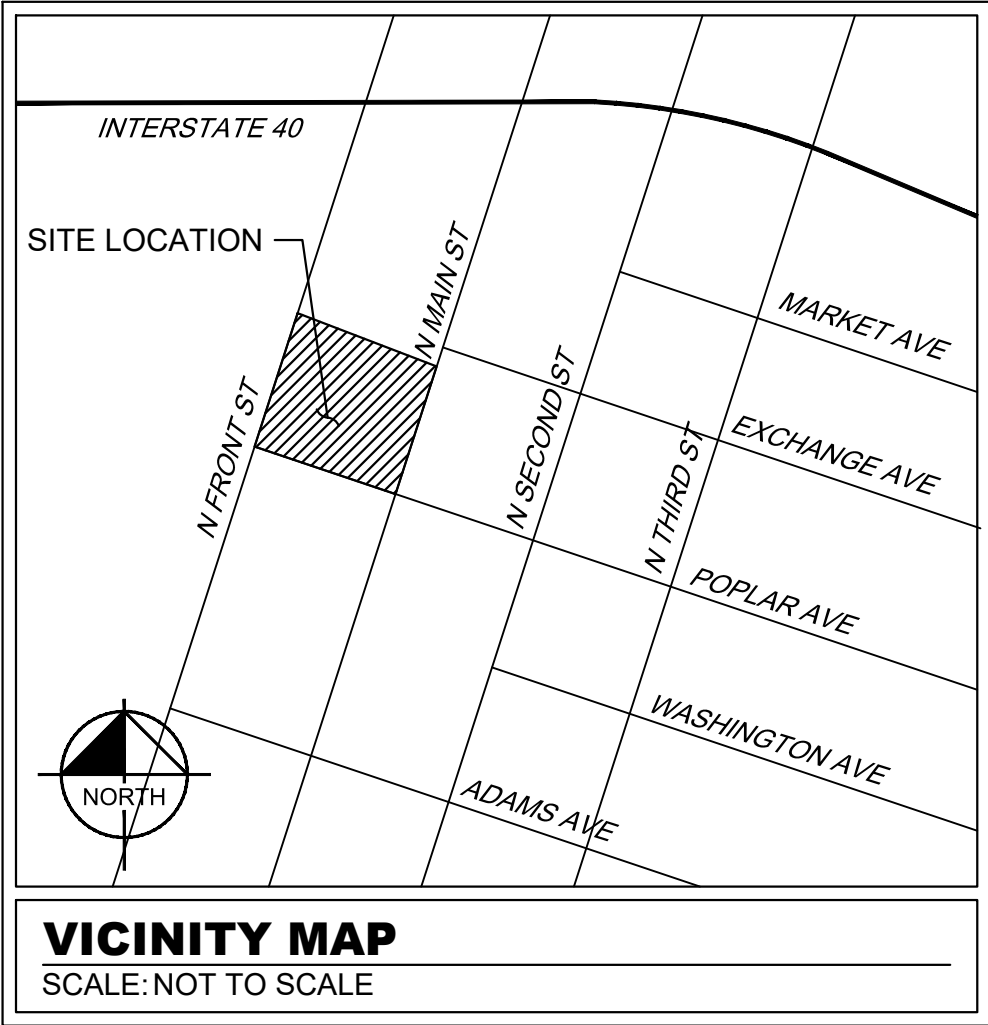
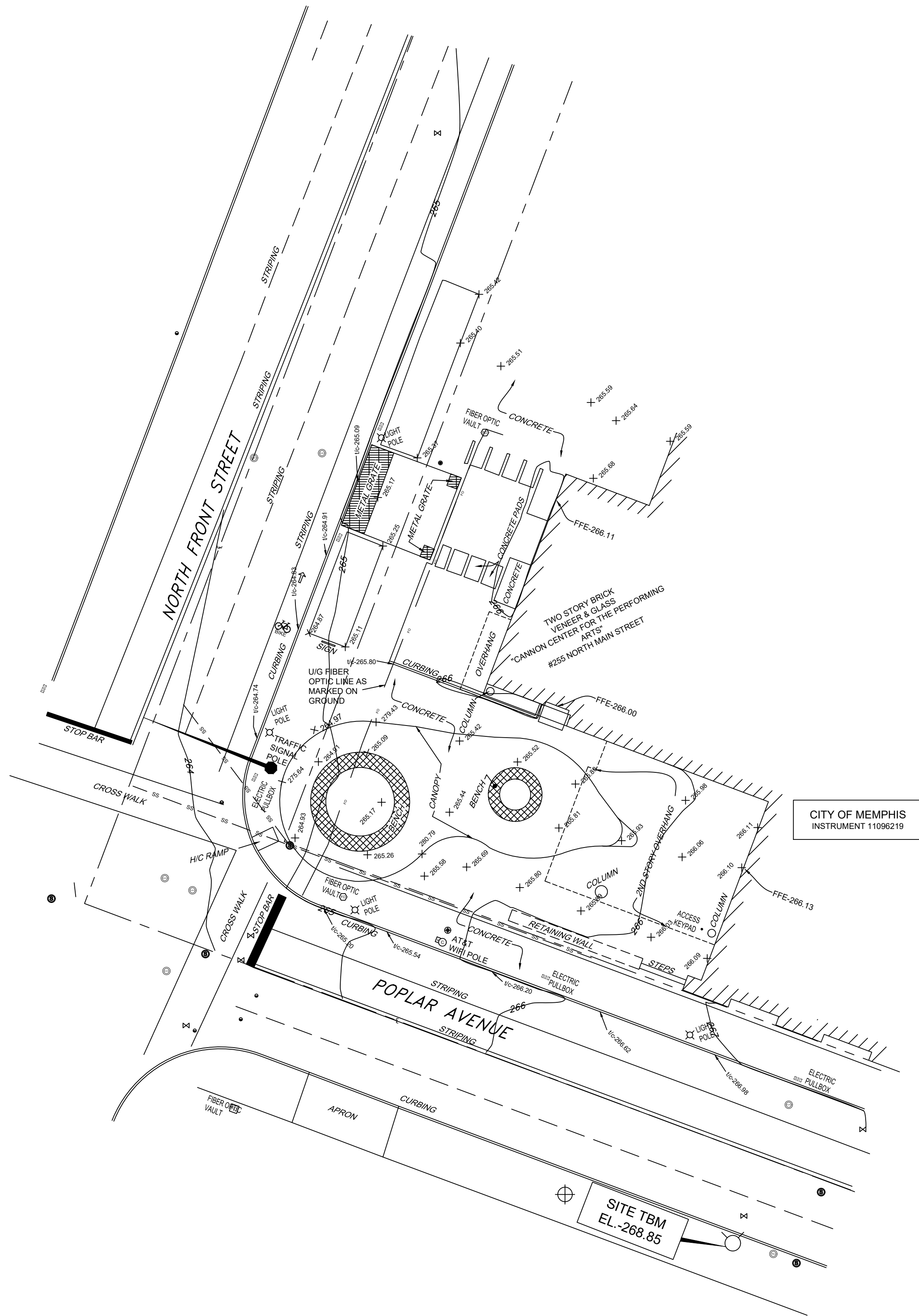
DEPUTY CITY ENGINEER DATE CITY ENGINEER DATE

Plotted By: Bryant, Tim Sheet Set: CANNON CENTER VISITOR DROP-OFF Layout: 2 July 25, 2023 01:56:40pm k:\VIEW\LAP\115519001 - cannon center visitor drop-off\2-CADD\2-Plansheets\CO-00 COVER SHEET.dwg

TOPOGRAPHIC SURVEY OF PART
OF THE CITY OF MEMPHIS
PROPERTY AS DESCRIBED IN
INSTRUMENT 11096219, BEING
THE CANNON CENTER FOR
PERFORMING ARTS IN MEMPHIS,
SHELBY COUNTY, TENNESSEE



LEGEND			
	ELECTRIC METER		SEWER MANHOLE
	GAS METER		DRAIN MANHOLE
	GAS VALVE		FIRE HYDRANT
	ANCHOR GUY		6-72 DRAIN INLET
	POWER POLE		TELEPHONE PEDESTAL
	FENCE		MAILBOX
	BORE HOLES		DRAIN INLET
	LIGHT POLE		TELEPHONE MANHOLE
	PAD MOUNTED TRANSFORMER		FIRE POST
	SEWER CLEANOUT		INDICATOR VALVE
	WATER METER		GROUND LIGHT
	WATER VALVE		WATER PUMP
	SIGN		BOLLARD
	IRRIGATION		HANDICAP PARKING
	CONTROL VALVE		HEATING VENTILATION AND AIR CONDITIONING
	SIGNAL POLE		
	FFE-FINISHED FLOOR ELEVATION		
	T/C- TOP OF CURB		
WATER LINE			
	W		W
GAS LINE			
	G		G
TELEPHONE LINE			
	T		T
POLE/WIRE LINE			
	E		E
UNDERGROUND ELECTRIC			
	UGE		UGE
SEWER LINE			
	SS		SS
DRAIN LINE			
	SD		SD



THIS IS TO CERTIFY THAT THIS TOPOGRAPHIC SURVEY IS IN COMPLIANCE WITH THE RULES OF THE TENNESSEE STATE BOARD OF EXAMINERS FOR LAND SURVEYORS, CHAPTER 0620-3 AND THAT THE TOPOGRAPHIC DATA SHOWN HEREON WAS DERIVED UTILIZING ELECTRONIC DATA CAPTURING TECHNOLOGY.

HARRIS & ASSOCIATES LAND SURVEYORS, LLC

BY
JEFFREY L. HARRIS
SURVEYOR
TENNESSEE LICENSE #1969



BENCHMARK
CITY OF MEMPHIS BENCH MARK # 1406, LOCATED AT THE INTERSECTION OF DANNY THOMAS BOULEVARD & WASHINGTON AVENUE. ELEVATION = 229.89 (NAVD88)

100 YEAR FLOOD ELEVATION 233.00±
PER F.E.M.A PANEL 470177 0270F DATED SEPTEMBER 28, 2007, THIS PROPERTY IS LOCATED IN ZONE X *AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN*.

SEWER BASIN ID: FS-2
DRAINAGE BASIN: GAYOSO BAYOU 1-G

DWG NO.
C0-10

SHEET 2 OF 3

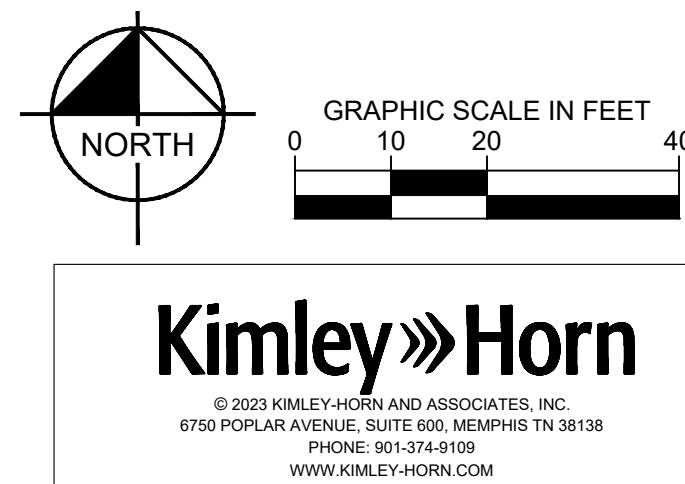
DIVISION OF ENGINEERING

TOPOGRAPHIC SURVEY BY OTHERS

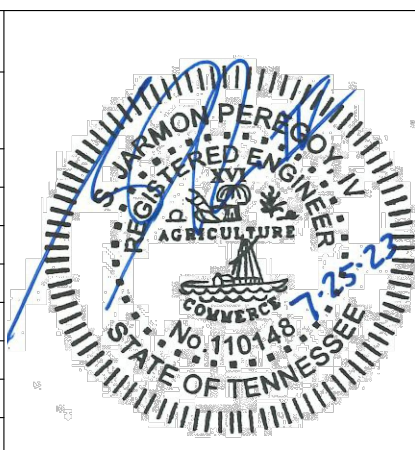
LOCATION: 255 N MAIN STREET
MEMPHIS, TN 38103

SURVEY HARRIS & ASSOC. DATE: 04/17/2023 BOOK: SEE SURVEY
DESIGN BY KHA DATE: 07/18/2023 SCALE: AS NOTED

DEPUTY CITY ENGINEER DATE CITY ENGINEER DATE



REVISION		
ITEM NO.	DESCRIPTION OF CHANGE	APPROVAL DATE



CANNON CENTER
VISITOR DROP-OFF
OWNER: CANNON CENTER FOR THE PERFORMING ARTS
ENGINEER: KIMLEY-HORN AND ASSOCIATES, INC.

Plotted By: Bryant, Tim Sheet Set: CANNON CENTER VISITOR DROP-OFF July 25, 2023 01:46:52pm K:\VIEW\LAP\115519001 - cannon center visitor drop-off\2-CADD\2-Plansheets\C1-00 DEMOLITION PLAN.dwg



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NOTE

IF ANY CONFLICTS, DISCREPANCIES, OR ANY OTHER UNSATISFACTORY CONDITIONS ARE DISCOVERED, EITHER ON THE CONSTRUCTION DOCUMENTS OR FIELD CONDITIONS, THE CONTRACTOR MUST NOTIFY THE ENGINEER IMMEDIATELY AND SHALL NOT COMMENCE FURTHER OPERATION UNTIL THE CONFLICTS, DISCREPANCIES, OR OTHER UNSATISFACTORY CONDITIONS ARE RESOLVED.

CONTRACTOR SHALL CONTACT THE URBAN ART COMMISSION TO COORDINATE ANY REQUIREMENTS TO ENSURE THE PROTECTION OF THE PUBLIC ART DISPLAY LOCATED AT THE NE CORNER OF THE INTERSECTION OF POPLAR AVE. AND FRONT ST. BEFORE BEGINNING WORK.

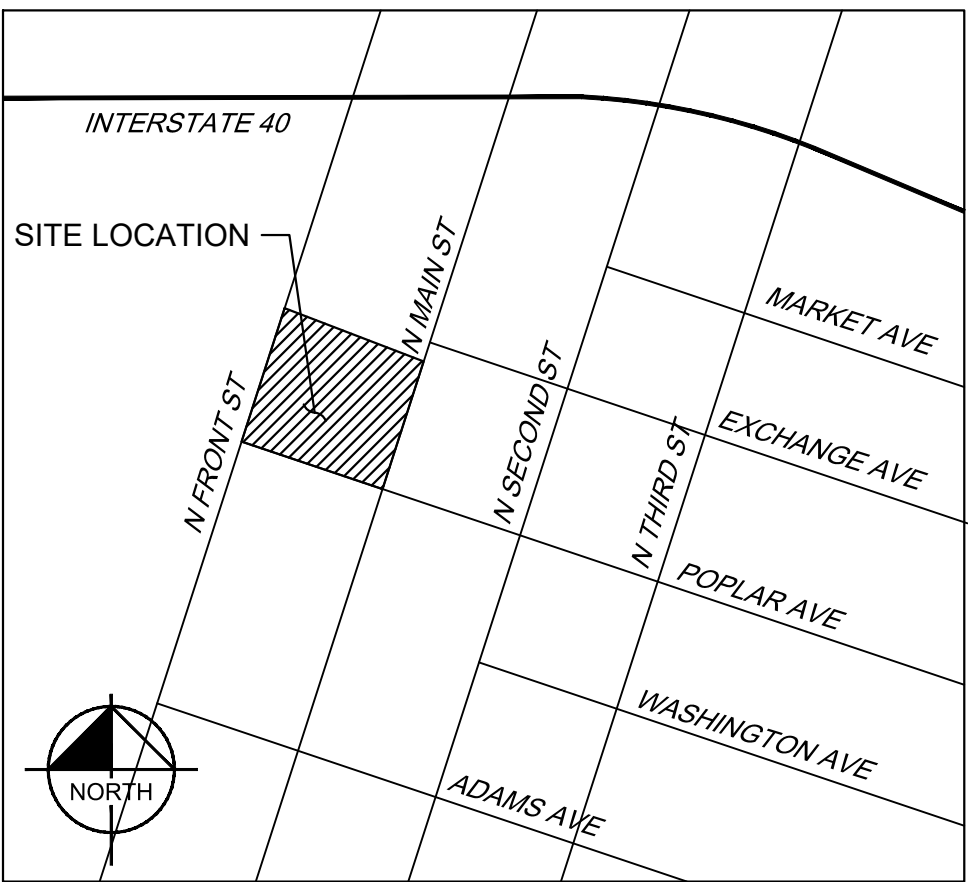
NORTH FRONT STREET

TWO STORY BRICK
VENEER & GLASS
"CANNON CENTER FOR THE PERFORMING
ARTS"
#255 NORTH MAIN STREET

CITY OF MEMPHIS
INSTRUMENT 11096219

DEMOLITION LEGEND

- REMOVE EXISTING CURB, PLANTER, OR WALL
- LIMITS OF DISTURBANCE
- PROPERTY LINE
- REMOVE EXISTING TREE, STRUCTURE OR UTILITY
- REMOVE EXISTING ASPHALT PAVEMENT
- REMOVE EXISTING CONCRETE PAVEMENT
- REMOVE EXISTING UTILITY LINE/FENCE
- SAWCUT LINE



VICINITY MAP
SCALE: NOT TO SCALE

GENERAL DEMOLITION NOTES

- WITHIN THE SUBJECT PROPERTY, THE INTENT IS TO HAVE A CLEAN AND CLEAR SITE, FREE OF ALL EXISTING ITEMS NOTED TO BE REMOVED IN ORDER TO PERMIT THE CONSTRUCTION OF THE NEW PROJECT.
- ALL SEDIMENT AND EROSION CONTROLS SHALL BE IN PLACE PRIOR TO START OF DEMOLITION AND CLEARING AND GRUBBING OPERATIONS. EROSION CONTROL MEASURES SHALL CONFORM TO THE STANDARDS OF THE TENNESSEE DEPARTMENT OF ENVIRONMENTAL CONSERVATION (TDEC).
- REMOVE AND DISPOSE OF ANY SIDEWALKS, FENCES, STAIRS, WALLS, RETAINING WALLS, DEBRIS AND RUBBISH REQUIRING REMOVAL FROM THE WORK AREA IN AN APPROVED OFF SITE LANDFILL.
- THE CONTRACTOR SHALL SECURE ALL PERMITS FOR DEMOLITION AND DISPOSAL OF DEMOLITION MATERIAL TO BE REMOVED FROM THE SITE. THE CONTRACTOR SHALL POST BONDS AND PAY PERMIT FEES AS REQUIRED.
- THE CONTRACTOR SHALL PREPARE ALL DOCUMENTS AS REQUIRED PRIOR TO DEMOLITION.
- THE PLANS MAY NOT REFLECT ALL UTILITIES ON THE SITE OR SURROUNDING STREETS AND PROPERTIES. THE CONTRACTOR SHALL VERIFY LOCATIONS AND EXISTENCE OF UTILITY SERVICES PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL CALL TENNESSEE ONE CALL AND HAVE UTILITY LOCATIONS COMPLETED PRIOR TO CONSTRUCTION.
- FOR ALL ITEMS NOTED TO BE REMOVED - REMOVE NOT ONLY THE ABOVE GROUND ELEMENTS, BUT ALL UNDERGROUND ELEMENTS AS WELL INCLUDING BUT NOT NECESSARILY LIMITED TO: FOUNDATIONS, GRAVEL FILLS, TREE ROOTS, OLD PIPES, ETC.
- BACK FILL ALL EXCAVATIONS RESULTING FROM THE DEMOLITION WORK TO MEET THE REQUIREMENTS FOR FILL OUTLINED IN THE GEOTECHNICAL REPORT.
- THE CONTRACTOR SHALL PROTECT ALL IRON PINS, MONUMENTS AND PROPERTY CORNERS DURING DEMOLITION. ANY CONTRACTOR DISTURBED PINS, MONUMENTS, ETC. SHALL BE RESET BY A LICENSED LAND SURVEYOR AT THE EXPENSE OF THE CONTRACTOR.
- THE CONTRACTOR SHALL RESTORE ANY UTILITY STRUCTURE, PIPES, PAVEMENT, CURBS, SIDEWALKS OR LANDSCAPED AREAS DISTURBED DURING DEMOLITION WHICH WERE NOT IDENTIFIED FOR DEMOLITION TO THEIR ORIGINAL CONDITION TO THE SATISFACTION OF THE OWNER.
- NO CONDUIT OR PIPE WILL BE ABANDONED IN PLACE. ALL CONDUITS AND PIPES SHALL BE REMOVED.
- THE CONTRACTOR SHALL CONTROL DUST LEAVING THE SITE DURING DEMOLITION AND CONSTRUCTION. ALL STREETS SHALL BE KEPT CLEAR AND FREE OF DIRT AND DEBRIS.
- THE CONTRACTOR SHALL VERIFY EXISTING DATA AND REPORT ANY DISCREPANCIES TO THE PROJECT MANAGER.
- THE CONTRACTOR SHALL PROTECT SURROUNDING BUILDING UTILITY SERVICES DURING CONSTRUCTION AND COORDINATE ALL SERVICE IMPACTS WITH OWNER.
- THE CONTRACTOR SHALL EXERCISE CAUTION WITH ALL EXCAVATIONS AND BE PREPARED FOR SOFT DIG PROCEDURES WHERE UTILITY CONFLICTS EXIST.
- THIS DEMOLITION PLAN IS INTENDED TO AID THE CONTRACTOR DURING THE BIDDING AND CONSTRUCTION PROCESS AND IS NOT INTENDED TO DEPICT EACH AND EVERY ELEMENT OF DEMOLITION. THE CONTRACTOR IS RESPONSIBLE FOR IDENTIFYING THE DETAILED SCOPE OF DEMOLITION AND FOR THE DEMOLITION, REMOVAL, OR RELOCATION OF ITEMS IN CONFLICT WITH THE PROPOSED CONSTRUCTION.
- THE SCOPE OF DEMOLITION IS NOT LIMITED EXCLUSIVELY TO THE WORK INDICATED ON THE DEMOLITION PLAN. THE CONSTRUCTION DOCUMENTS ARE PROVIDED AS A GENERAL GUIDE FOR DEMOLITION. TO ASSIST THE CONTRACTOR, THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING ADDITIONAL DEMOLITION THAT MAY BE REQUIRED FOR PROPER INSTALLATION OF NEW WORK. THE CONTRACTOR SHALL REVIEW ALL CONSTRUCTION DOCUMENTS FOR ADDITIONAL INFORMATION AND REQUIREMENTS.
- THE CONTRACTOR SHALL PROTECT ALL ITEMS SPECIFICALLY NOTED TO REMAIN. IF ITEMS ARE DAMAGED BY CONSTRUCTION ACTIVITIES, THE CONTRACTOR SHALL REPAIR OR REPLACE ITEMS, AT NO ADDITIONAL COST TO THE OWNER.
- ALL UTILITIES NOT SPECIFICALLY MARKED FOR DEMOLITION SHALL BE PROTECTED THROUGHOUT CONSTRUCTION. SPECIAL SUPPORTS, BRACING, SHORING SHOULD BE PROVIDED AND ACCOUNTED FOR TO PROTECT EXISTING UTILITIES TO REMAIN.
- THE CONTRACTOR SHALL SCHEDULE AND COORDINATE ALL UTILITY DEMOLITION, SHUTOFFS, AND SWITCHOVERS WITH THE OWNER AND THE RESPECTIVE UTILITY COMPANY.
- THE CONTRACTOR SHALL REPAIR ALL SURROUNDING PAVEMENTS, SIDEWALKS, AND CURBS DAMAGED BY CONSTRUCTION OPERATIONS AT NO ADDITIONAL COST.
- ALL UTILITY BOXES, MANHOLES, VALVES, POLES, AND OTHER APPURTENANCES SHALL BE ADJUSTED TO FINISHED GRADE.
- THE CONTRACTOR IS RESPONSIBLE FOR DETERMINING THE LIMITS OF PAVEMENT REMOVAL AND REPLACEMENTS NEEDED TO COMPLETE THE PROPOSED IMPROVEMENTS.
- THE CONTRACTOR IS RESPONSIBLE FOR MAINTAINING FLOW IN THE EXISTING STORM AND SANITARY SEWER SYSTEMS THROUGHOUT CONSTRUCTION. TEMPORARY BYPASS PUMPING OR DIVERSION PIPES MAY BE REQUIRED.
- ALL WORK WITHIN THE PUBLIC RIGHT-OF-WAY SHALL BE PERFORMED IN CONJUNCTION WITH CITY REQUIREMENTS.

BENCHMARK
CITY OF MEMPHIS BENCH MARK # 1406: LOCATED AT THE INTERSECTION OF DANNY THOMAS BOULEVARD & WASHINGTON AVENUE. ELEVATION = 229.89 (NAVD88)

100 YEAR FLOOD ELEVATION 233.00+
PER F.E.M.A PANEL 470177 0270F DATED SEPTEMBER 28, 2007, THIS PROPERTY IS LOCATED IN ZONE X "AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN".

SEWER BASIN ID: FS-2
DRAINAGE BASIN: GAYOSO BAYOU 1-G

DWG NO.

C1-00

SHEET 1 OF 1

DIVISION OF ENGINEERING

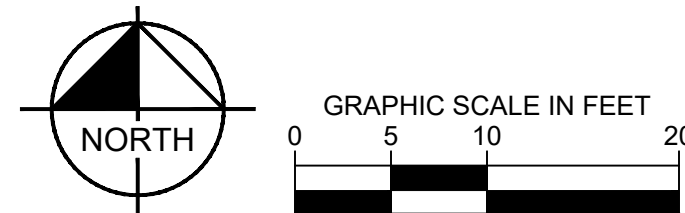
DEMOLITION PLAN

LOCATION: 255 N MAIN STREET
MEMPHIS, TN 38103

SURVEY HARRIS & ASSOC. DATE: 04/17/2023 BOOK: SEE SURVEY

DESIGN BY KHA DATE: 07/18/2023 SCALE: AS NOTED

DEPUTY CITY ENGINEER DATE CITY ENGINEER DATE



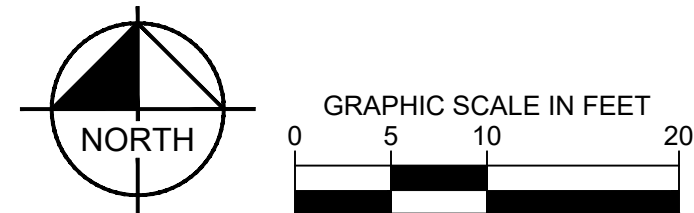
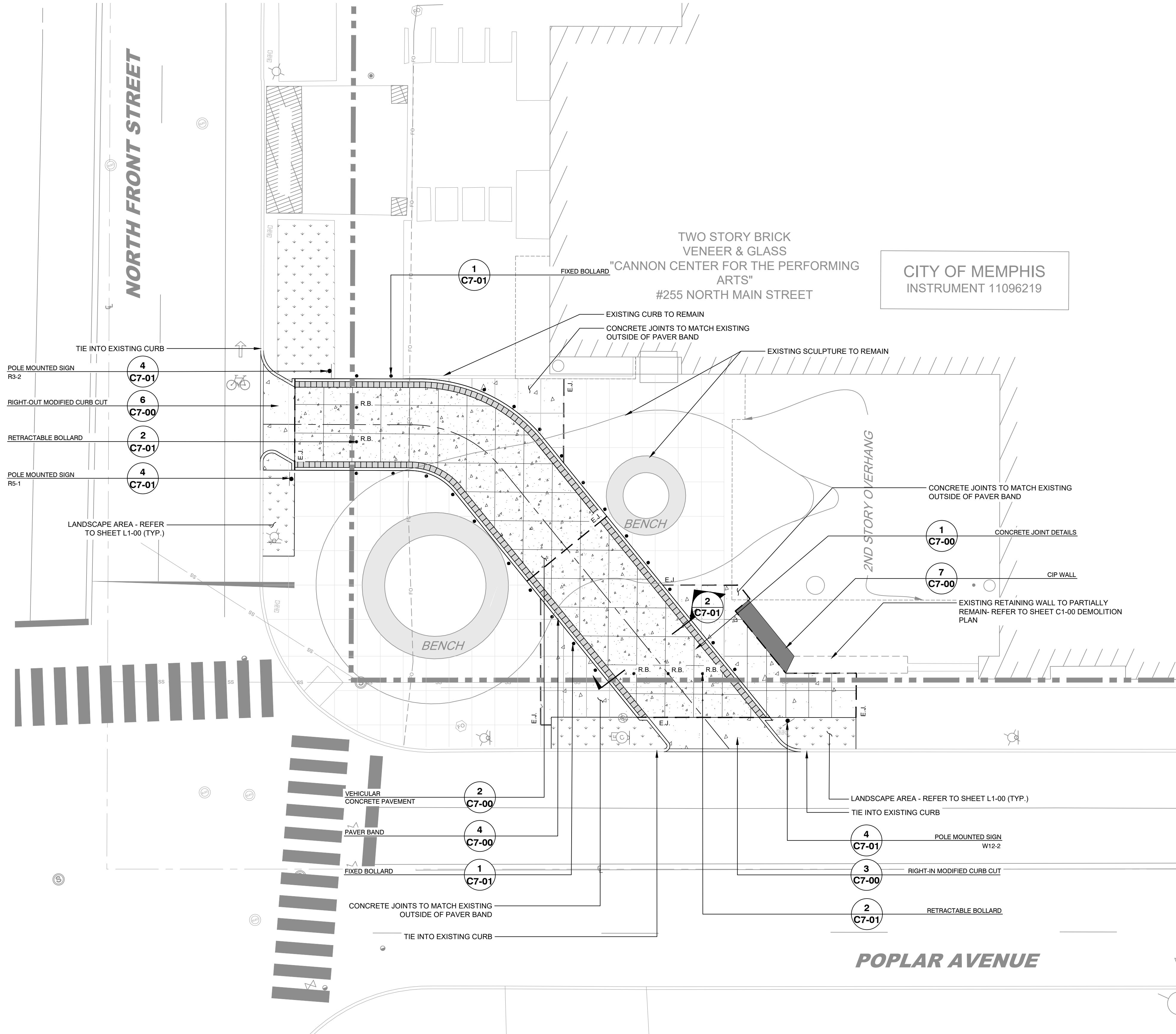
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6750 POPLAR AVENUE, SUITE 600, MEMPHIS TN 38138
PHONE: 901-374-9109
WWW.KIMLEY-HORN.COM

CANNON CENTER
VISITOR DROP-OFF

OWNER: CANNON CENTER FOR THE PERFORMING ARTS
ENGINEER: KIMLEY-HORN AND ASSOCIATES, INC.

Plotted By: Bryant, Tim Sheet Set: CANNON CENTER VISITOR DROP-OFF Layout: 5 July 25, 2023 01:57:07pm K:\VIEW\LAP\115519001 - cannon center visitor drop-off\2-CADD\2-Plansheets\C2-00 HARDSCAPE PLAN.dwg

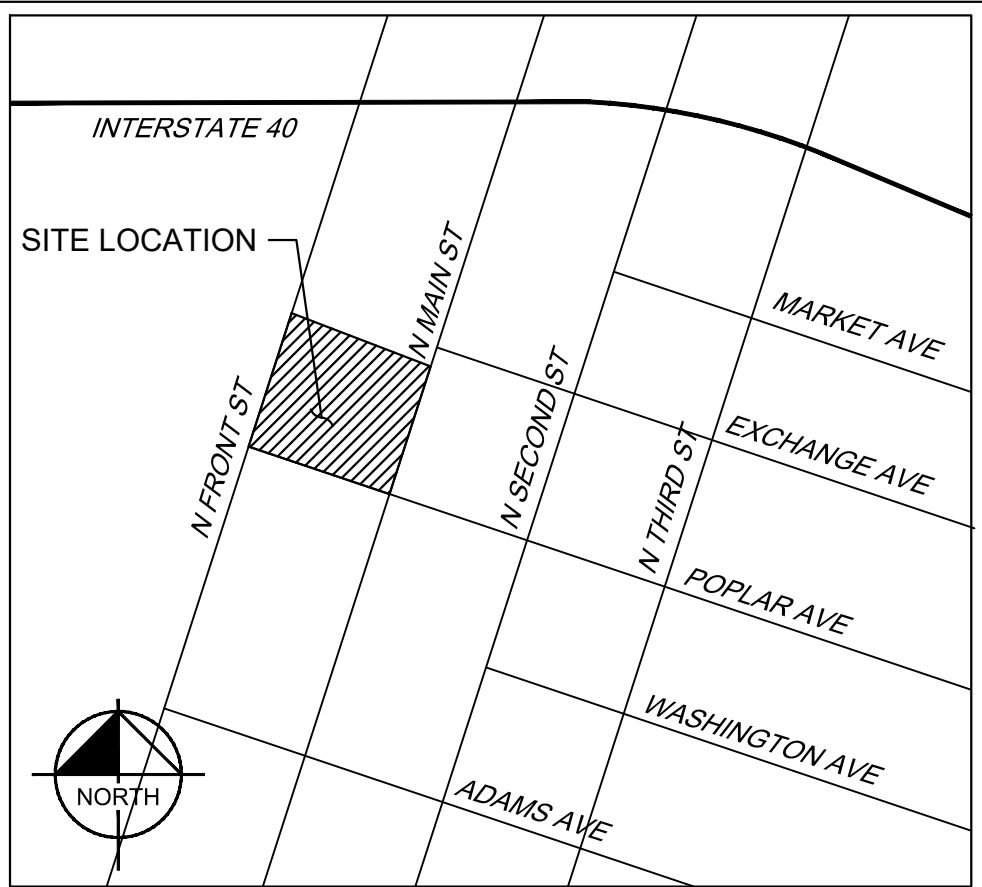


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6750 POPLAR AVENUE, SUITE 600, MEMPHIS TN 38138
PHONE: 901-374-9109
WWW.KIMLEY-HORN.COM

REVISION		
ITEM NO.	DESCRIPTION OF CHANGE	APPROVAL DATE



**CANNON CENTER
VISITOR DROP-OFF**
OWNER: CANNON CENTER FOR THE PERFORMING ARTS
ENGINEER: KIMLEY-HORN AND ASSOCIATES, INC.

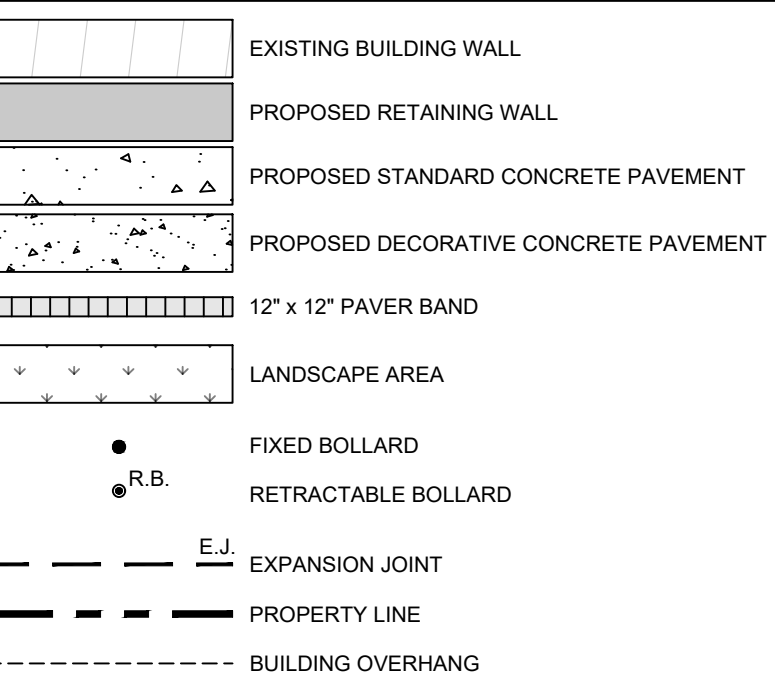


VICINITY MAP
SCALE: NOT TO SCALE

GENERAL NOTES

- CONTRACTOR MUST SECURE ALL NECESSARY PERMITS PRIOR TO BEGINNING WORK.
- ATTENTION IS DRAWN TO THE FACT THAT THE SCALE OF THESE DRAWINGS MAY HAVE BEEN DISTORTED DURING THE REPRODUCTION PROCESS. THIS DOCUMENT, TOGETHER WITH THE CONCEPTS AND DESIGNS PRESENTED HEREIN, AS AN INSTRUMENT OF SERVICE, IS INTENDED ONLY FOR THE SPECIFIC PURPOSE AND CLIENT FOR WHICH IT WAS PREPARED. REUSE OF AND IMPROPER RELIANCE ON THIS DOCUMENT WITHOUT WRITTEN AUTHORIZATION AND ADAPTATION FROM KIMLEY-HORN AND ASSOCIATES, INC. SHALL BE WITHOUT LIABILITY TO KIMLEY-HORN AND ASSOCIATES, INC.
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- ALL CONSTRUCTION MATERIALS AND WORKMANSHIP SHALL BE IN ACCORDANCE WITH THE STATE AND LOCAL GOVERNMENT AGENCY'S LATEST CONSTRUCTION SPECIFICATIONS AND DETAILS.
- ALL ACCESSIBLE SITE FEATURES SHALL BE CONSTRUCTED TO MEET ALL FEDERAL, STATE, AND LOCAL CODES.
- NOTIFY THE CITY INSPECTOR TWENTY-FOUR (24) HOURS BEFORE BEGINNING EACH PHASE OF CONSTRUCTION.
- THE CONTRACTOR SHALL CAREFULLY PRESERVE BENCHMARKS, REFERENCE POINTS, AND STAKES.
- ARCHITECTURAL PLANS ARE TO BE USED FOR BUILDING STAKE OUT.
- ALL DIMENSIONS ARE FROM FACE OF BUILDING, CURB, WALL, EDGE OF PAVEMENT CENTER OF STRIPE, OR ALONG EDGE OF SIDEWALK, UNLESS OTHERWISE SPECIFIED ON PLANS.
- CONTRACTOR SHALL MAINTAIN THE SITE IN A MANNER SUCH THAT WORKERS AND PUBLIC SHALL BE PROTECTED FROM INJURY AND ADJOINING PROPERTY PROTECTED FROM DAMAGE.
- CONTRACTOR IS RESPONSIBLE FOR DAMAGE TO ANY EXISTING ITEM AND/OR MATERIAL INSIDE OR OUTSIDE CONTRACT LIMITS DUE TO CONSTRUCTION OPERATION.
- ALL STREET SURFACES, DRIVEWAYS, CULVERTS, CURB AND GUTTERS, ROADSIDE DRAINAGE DITCHES, AND OTHER STRUCTURES THAT ARE DISTURBED OR DAMAGED IN ANY MANNER AS A RESULT OF CONSTRUCTION SHALL BE REPLACED OR REPAIRED IN ACCORDANCE WITH THE SPECIFICATIONS.
- ALL ROAD WORK SHALL BE PERFORMED IN ACCORDANCE WITH STATE AND LOCAL GOVERNMENT AGENCY SPECIFICATIONS.
- ALL PROPOSED SIDEWALKS SHALL BE ADA ACCESSIBLE.
- CONTRACTOR TO COORDINATE FINAL PLACEMENT OF THE FIXED BOLLARDS IN THE FIELD WITH OWNER AND ENGINEER.
- NEW DRIVEWAY TO BE FLUSH WITH ADJACENT PLAZA PAVEMENT, EXCEPT AT CURB CUTS. REFER TO SHEET C3-00 - GRADING AND DRAINAGE PLAN.

LEGEND



BENCHMARK
CITY OF MEMPHIS BENCH MARK # 1406: LOCATED AT THE INTERSECTION OF DANNY THOMAS BOULEVARD & WASHINGTON AVENUE. ELEVATION = 229.89 (NAVD88)
100 YEAR FLOOD ELEVATION 233.00:
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SEWER BASIN ID: FS-2
DRAINAGE BASIN: GAYOSO BAYOU 1-G

DWG NO.
C2-00

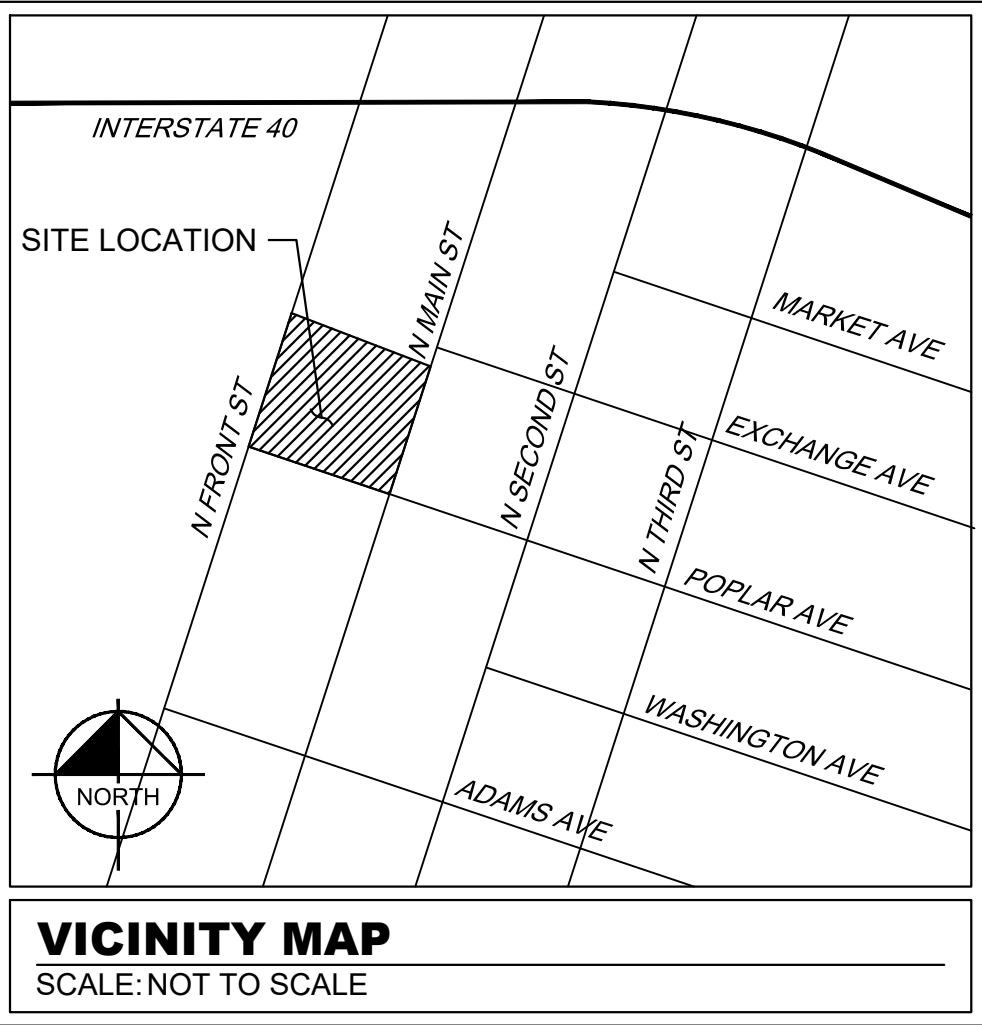
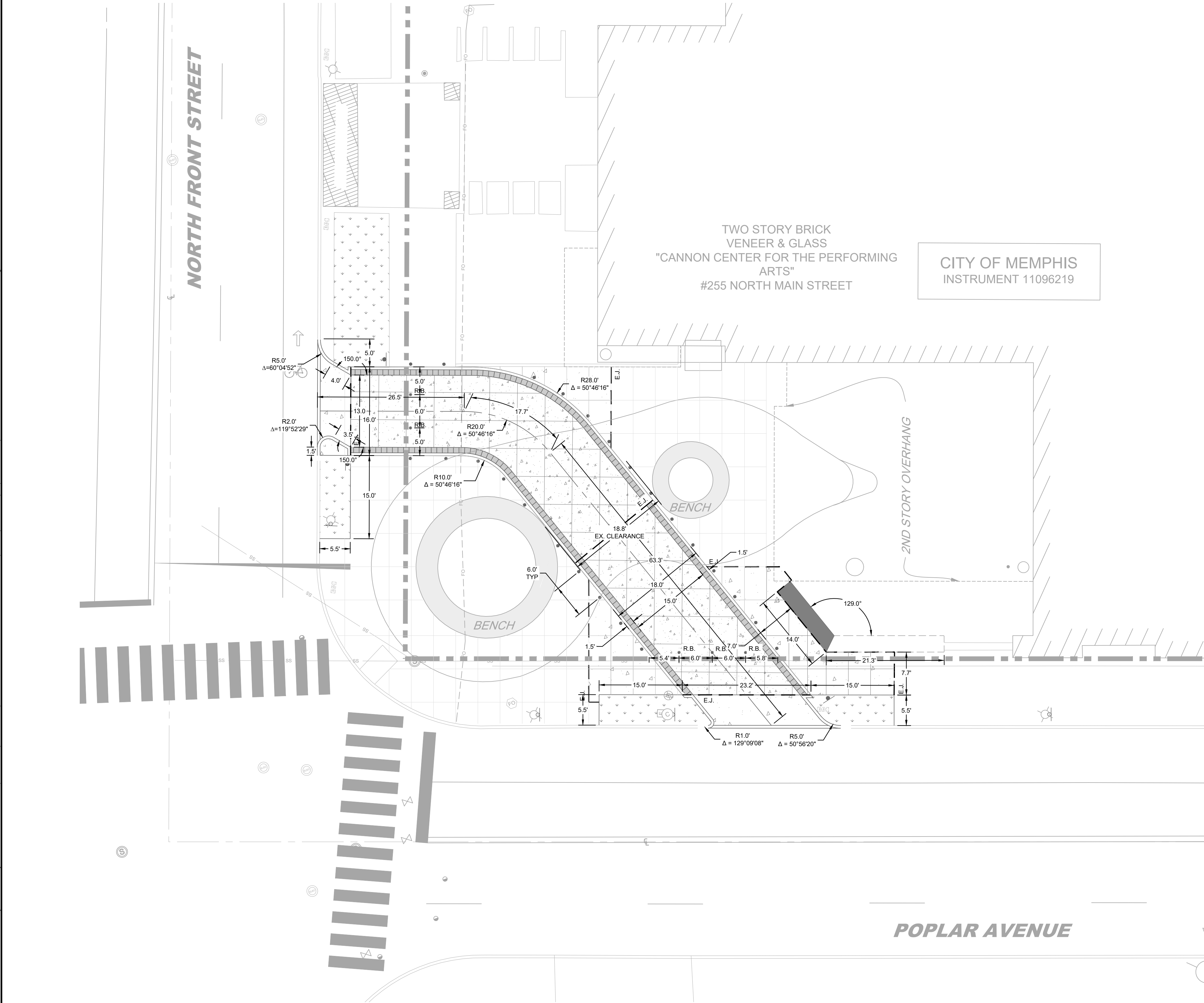
SHEET 1 OF 2
DIVISION OF ENGINEERING
HARDSCAPE PLAN

LOCATION: 255 N MAIN STREET
MEMPHIS, TN 38103

SURVEY HARRIS & ASSOC. DATE: 04/17/2023 BOOK: SEE SURVEY
DESIGN BY KHA DATE: 07/18/2023 SCALE: AS NOTED

DEPUTY CITY ENGINEER DATE CITY ENGINEER DATE

Plotted By: Bryant, Tim Sheet Set: CANNON CENTER VISITOR DROP-OFF Layout: 6 July 25, 2023 01:57:31pm K:\VIEW\LAP\115519001 - cannon center visitor drop-off\2-CADD\2-panelsheets\02-50 SITE LAYOUT AND STAKING PLAN.dwg



- GENERAL NOTES**
- CONTRACTOR MUST SECURE ALL NECESSARY PERMITS PRIOR TO BEGINNING WORK.
 - ATTENTION IS DRAWN TO THE FACT THAT THE SCALE OF THESE DRAWINGS MAY HAVE BEEN DISTORTED DURING THE REPRODUCTION PROCESS. THIS DOCUMENT, TOGETHER WITH THE CONCEPTS AND DESIGNS PRESENTED HEREIN, AS AN INSTRUMENT OF SERVICE, IS INTENDED ONLY FOR THE SPECIFIC PURPOSE AND CLIENT FOR WHICH IT WAS PREPARED. REUSE OF AND IMPROPER RELIANCE ON THIS DOCUMENT WITHOUT WRITTEN AUTHORIZATION AND ADAPTATION FROM KIMLEY-HORN AND ASSOCIATES, INC. SHALL BE WITHOUT LIABILITY TO KIMLEY-HORN AND ASSOCIATES, INC.
 - IF ANY CONFLICTS, DISCREPANCIES, OR ANY OTHER UNSATISFACTORY CONDITIONS ARE DISCOVERED, EITHER ON THE CONSTRUCTION DOCUMENTS OR FIELD CONDITION, THE CONTRACTOR MUST NOTIFY THE ENGINEER IMMEDIATELY AND SHALL NOT COMMENCE FURTHER OPERATIONS UNTIL THE CONFLICTS, DISCREPANCIES, OR OTHER UNSATISFACTORY CONDITIONS ARE RESOLVED.
 - CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFICATION OF ALL SETBACKS, EASEMENTS, AND DIMENSIONS SHOWN HEREON BEFORE BEGINNING CONSTRUCTION.
 - ALL CONSTRUCTION MATERIALS AND WORKMANSHIP SHALL BE IN ACCORDANCE WITH THE STATE AND LOCAL GOVERNMENT AGENCY'S LATEST CONSTRUCTION SPECIFICATIONS AND DETAILS.
 - ALL ACCESSIBLE SITE FEATURES SHALL BE CONSTRUCTED TO MEET ALL FEDERAL, STATE, AND LOCAL CODES.
 - NOTIFY THE CITY INSPECTOR TWENTY-FOUR (24) HOURS BEFORE BEGINNING EACH PHASE OF CONSTRUCTION.
 - THE CONTRACTOR SHALL CAREFULLY PRESERVE BENCHMARKS, REFERENCE POINTS, AND STAKES.
 - ARCHITECTURAL PLANS ARE TO BE USED FOR BUILDING STAKE OUT.
 - ALL DIMENSIONS ARE FROM FACE OF BUILDING, CURB, WALL, EDGE OF PAVEMENT CENTER OF STRIPE, OR ALONG EDGE OF SIDEWALK, UNLESS OTHERWISE SPECIFIED ON PLANS.
 - CONTRACTOR SHALL MAINTAIN THE SITE IN A MANNER SUCH THAT WORKERS AND PUBLIC SHALL BE PROTECTED FROM INJURY AND ADJOINING PROPERTY PROTECTED FROM DAMAGE.
 - CONTRACTOR IS RESPONSIBLE FOR DAMAGE TO ANY EXISTING ITEM AND/OR MATERIAL INSIDE OR OUTSIDE CONTRACT LIMITS DUE TO CONSTRUCTION OPERATION.
 - ALL STREET SURFACES, DRIVEWAYS, CULVERTS, CURB AND GUTTERS, ROADSIDE DRAINAGE DITCHES, AND OTHER STRUCTURES THAT ARE DISTURBED OR DAMAGED IN ANY MANNER AS A RESULT OF CONSTRUCTION SHALL BE REPLACED OR REPAIRED IN ACCORDANCE WITH THE SPECIFICATIONS.
 - ALL ROAD WORK SHALL BE PERFORMED IN ACCORDANCE WITH STATE AND LOCAL GOVERNMENT AGENCY SPECIFICATIONS.
 - ALL PROPOSED SIDEWALKS SHALL BE ADA ACCESSIBLE.

CITY OF MEMPHIS STANDARD NOTES

- NO TREES, SHRUBS, PERMANENT STRUCTURES, OR OTHER UTILITIES (EXCEPT FOR CROSSINGS) WILL BE ALLOWED WITHIN SANITARY SEWER EASEMENT. NO OTHER UTILITIES OR SERVICES MAY OCCUPY SANITARY SEWER EASEMENTS IN PRIVATE DRIVES AND YARDS EXCEPT FOR CROSSINGS.
- THE CITY OF MEMPHIS SHALL HAVE INGRESS/EGRESS RIGHTS TO USE PRIVATE DRIVES AND YARDS FOR THE PURPOSE OF MAINTAINING ALL PUBLIC SEWER LINES AND SHALL BEAR NO RESPONSIBILITY FOR THE MAINTENANCE OF SAID PRIVATE DRIVES AND YARDS.
- PLEASE BE ADVISED THAT A BUILDING PERMIT ISSUED BY THE MEMPHIS/SHELBY COUNTY OFFICE OF CONSTRUCTION CODE ENFORCEMENT DOES NOT ALLOW FOR ALTERATIONS AND/OR IMPROVEMENTS TO ANY RIGHT-OF-WAY (ROW) MAINTAINED BY THE CITY OF MEMPHIS. ALTERATIONS AND/OR IMPROVEMENTS TO THE CITY OF MEMPHIS ROW INCLUDE BUT ARE NOT LIMITED TO WORK PERFORMED ON SIDEWALKS, CURB AND GUTTER, DRIVE APRONS, AND UTILITY TIE-INS. ROW PERMITS MUST BE OBTAINED FROM THE MEMPHIS CITY ENGINEER'S OFFICE AT (901) 636-6700.
- THE AREAS DENOTED BY "RESERVED FOR STORM WATER DETENTION" SHALL NOT BE USED AS A BUILDING SITE OR FILLED WITHOUT FIRST OBTAINING WRITTEN PERMISSION FROM THE CITY ENGINEER. THE STORM WATER DETENTION SYSTEMS LOCATED IN THESE AREAS, EXCEPT FOR THOSE PARTS LOCATED IN A PUBLIC DRAINAGE EASEMENT, SHALL BE OWNED AND MAINTAINED BY THE PROPERTY OWNER AND/OR PROPERTY OWNERS' ASSOCIATION. SUCH MAINTENANCE SHALL BE PERFORMED SO AS TO ENSURE THAT THE SYSTEM OPERATES IN ACCORDANCE WITH THE APPROVED PLAN ON FILE IN THE CITY ENGINEER'S OFFICE. SUCH MAINTENANCE SHALL INCLUDE, BUT NOT BE LIMITED TO REMOVAL OF SEDIMENTATION, FALLEN OBJECTS, DEBRIS AND TRASH, MOWING, OUTLET CLEANING, AND REPAIR OF DRAINAGE STRUCTURES.

LEGEND

- EXISTING BUILDING WALL
- PROPOSED RETAINING WALL
- PROPOSED STANDARD CONCRETE PAVEMENT
- PROPOSED DECORATIVE CONCRETE PAVEMENT
- 12' x 12' PAVER BAND
- LANDSCAPE AREA
- FIXED BOLLARD
- RETRACTABLE BOLLARD
- PROPERTY LINE
- BUILDING OVERHANG

BENCHMARK
CITY OF MEMPHIS BENCH MARK # 1406: LOCATED AT THE INTERSECTION OF DANNY THOMAS BOULEVARD & WASHINGTON AVENUE. ELEVATION = 229.89 (NAVD88)

100 YEAR FLOOD ELEVATION 233.00:
PER F.E.M.A PANEL 470177 0270F DATED SEPTEMBER 28, 2007, THIS PROPERTY IS LOCATED IN ZONE X "AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN".

SEWER BASIN ID: FS-2
DRAINAGE BASIN: GAYOSO BAYOU 1-G

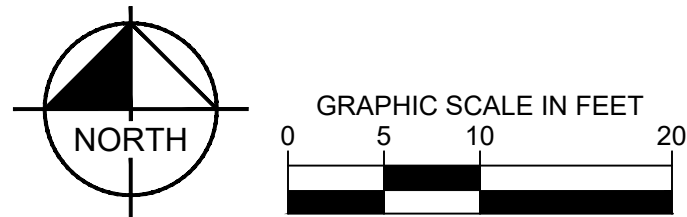
DWG NO.
C2-50

SHEET 2 OF 2
DIVISION OF ENGINEERING
SITE LAYOUT PLAN

LOCATION: 255 N MAIN STREET
MEMPHIS, TN 38103

SURVEY HARRIS & ASSOC. DATE: 04/17/2023 BOOK: SEE SURVEY
DESIGN BY KHA DATE: 07/18/2023 SCALE: AS NOTED

DEPUTY CITY ENGINEER DATE CITY ENGINEER DATE

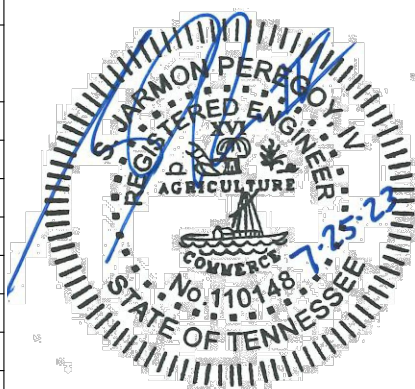


Kimley»Horn

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6750 POPLAR AVENUE, SUITE 600, MEMPHIS TN 38138
PHONE: 901-374-9109
WWW.KIMLEY-HORN.COM

**CANNON CENTER
VISITOR DROP-OFF**

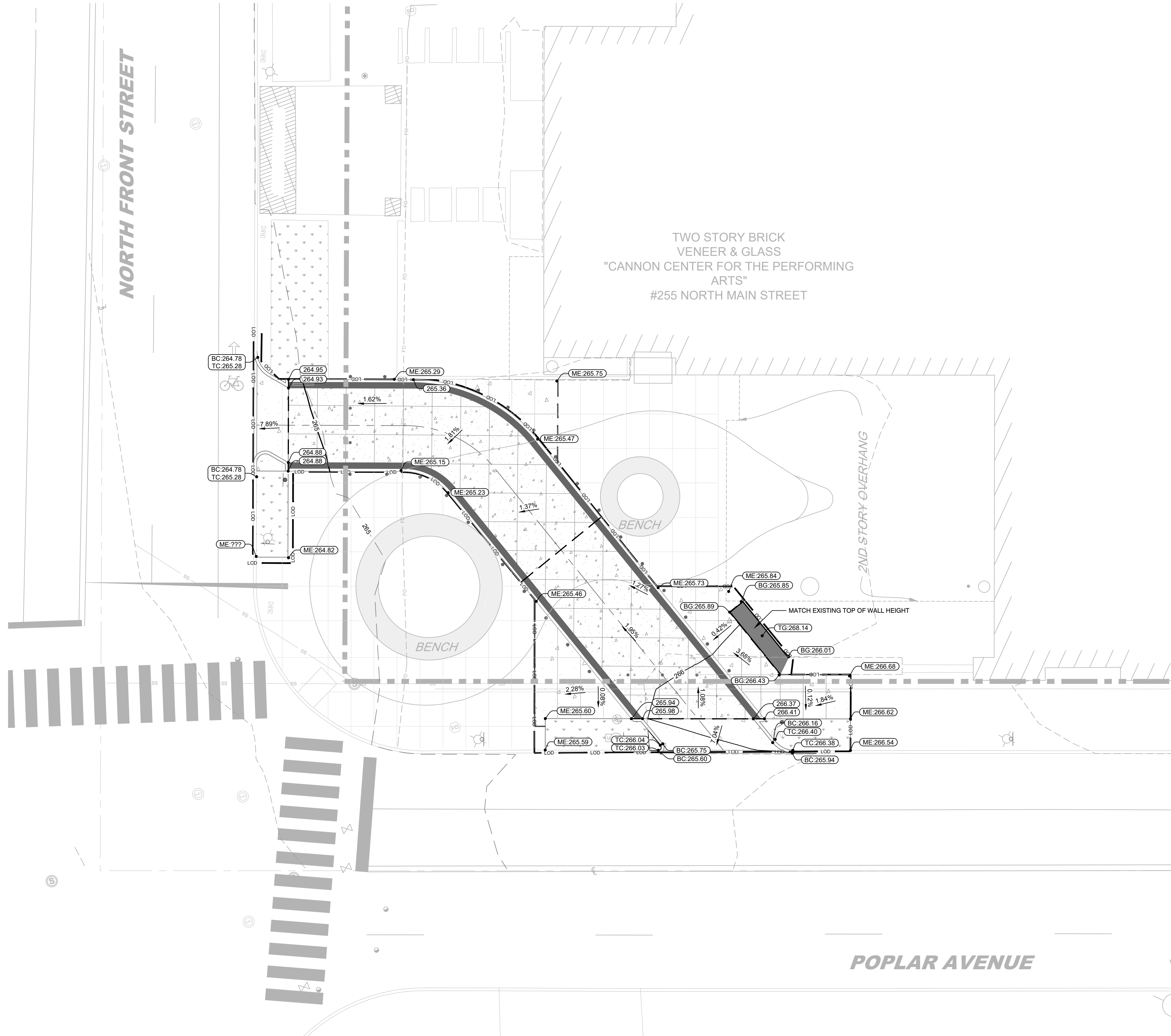
OWNER: CANNON CENTER FOR THE PERFORMING ARTS
ENGINEER: KIMLEY-HORN AND ASSOCIATES, INC.



Plotted By: Bryant, Tim Sheet Set: CANNON CENTER VISITOR DROP-OFF Layout: 7 July 25, 2023 01:58:01pm K:\VIEW\LAP\115119001 - cannon center visitor drop-off\2-CADD\2-panels\C3-00 GRADING AND DRAINAGE PLAN.dwg

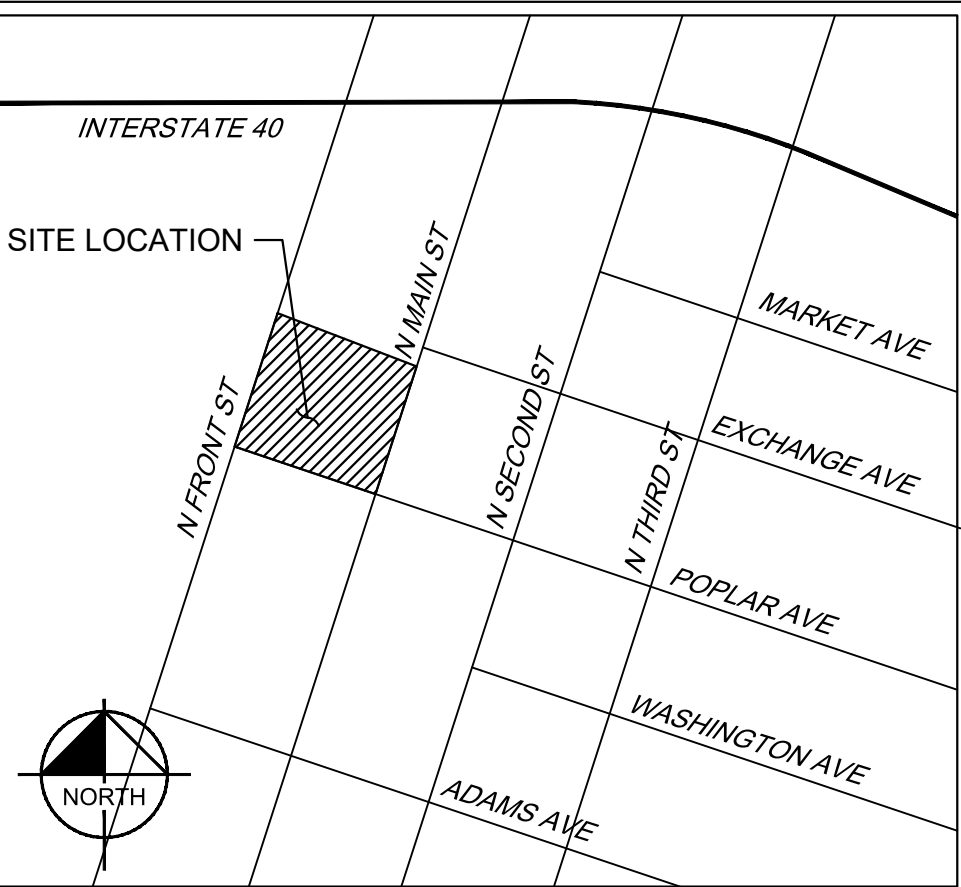


Know what's below.
Call before you dig.



GRADING PLAN LEGEND

SPOT ELEVATION	LP	LOW POINT
HP	HP	HIGH POINT
TC	TC	TOP OF CURB
TG	TG	TOP OF GRADE AT WALL
INV	INV	INVERT
EXISTING CONTOUR	BC	BOTTOM OF CURB / GUTTER LINE
PROPOSED CONTOUR	BG	BOTTOM OF GRADE AT EXPOSED WALL
PROPERTY LINE	RM	TOP OF GRADE / COVER
LIMITS OF DISTURBANCE		
BUILDING OVERHANG / CANOPY		



VICINITY MAP

SCALE: NOT TO SCALE

GENERAL NOTES

- CRITICAL SPOT GRADES ARE TO PAVEMENT OR SIDEWALK GRADE UNLESS OTHERWISE NOTED.
- CONTRACTOR SHALL CONSTRUCT ALL SIDEWALKS AND CROSSWALKS WITH A 2.0% MAXIMUM CROSS SLOPE AND A 5.0% MAXIMUM RUNNING SLOPE, UNLESS NOTED AS A RAMP. GRADES WITHIN ADA HANDICAP PARKING AREAS NOT TO EXCEED A 2% MAXIMUM SLOPE IN ANY DIRECTION.
- CONTRACTOR SHALL TAKE FIELD SLOPE MEASUREMENTS ON FINISHED SUBGRADE AND FORM BOARDS PRIOR TO PLACING PAVEMENT TO VERIFY THAT ADA SLOPE REQUIREMENTS ARE PROVIDED. CONTRACTOR SHALL CONTACT ENGINEER PRIOR TO PAVING IF ANY EXCESSIVE SLOPES ARE ENCOUNTERED. NO CONTRACTOR CHANGE ORDERS WILL BE ACCEPTED FOR ADA SLOPE COMPLIANCE ISSUES.
- ALL ROOF DRAIN PIPING SHALL BE PVC UNLESS OTHERWISE NOTED.
- ALL ROOF DRAIN CLEANOUTS IN PAVED AREAS SHALL HAVE A BRASS CAP SET FLUSH WITH THE PROPOSED GRADE.
- ALL PIPE LENGTHS SPECIFIED IN THESE PLANS ARE THE HORIZONTAL DISTANCE AND ARE SHOWN FOR REFERENCE ONLY. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO DETERMINE ACTUAL LENGTHS BASED ON PROPOSED PIPE SLOPE. PIPE LENGTHS IN PLANS ARE MEASURED FROM CENTER OF STRUCTURE TO CENTER OF STRUCTURE UNLESS OTHERWISE NOTED.
- CONTRACTOR TO FIELD VERIFY EXISTING INVERT FOR SANITARY SEWER AND STORM DRAINAGE SERVICE CONNECTIONS PRIOR TO CONSTRUCTION. CONTRACTOR SHALL NOTIFY ENGINEER OF DISCREPANCY PRIOR TO PROCEEDING.
- NO GRADED SLOPE SHALL EXCEED 3H:1V.
- ALL WALLS GREATER THAN 30" IN HEIGHT SHALL BE DESIGNED AND PERMITTED BY AN ENGINEER LICENSED IN THE STATE OF TENNESSEE.
- ALL WALLS GREATER THAN 30" IN HEIGHT SHALL HAVE FALL PROTECTION THROUGH FENCING OR HANDRAIL AT A MINIMUM OF 42" TALL.

GENERAL GRADING NOTES

- A MINIMUM OF 24 HOURS PRIOR TO BEGINNING CONSTRUCTION, THE CONTRACTOR SHALL NOTIFY THE CITY OF MEMPHIS CONSTRUCTION INSPECTION OFFICE AT (901) 636-2462.
- ALL NEWLY CUT OR FILLED AREAS, LACKING ADEQUATE VEGETATION, SHALL BE SEEDED, MULCHED, FERTILIZED AND/OR SODDED AS REQUIRED TO EFFECTIVELY CONTROL SOIL EROSION.
- THE LOCATION OF EXISTING UNDERGROUND UTILITIES ARE APPROXIMATE AND NOT NECESSARILY ALL OF SAME. THE CONTRACTOR SHALL BE RESPONSIBLE FOR NOTIFYING THE UTILITY COMPANIES WHICH MAINTAIN A UTILITY LINE WITHIN THE BOUNDARIES OF THE PROJECT PRIOR TO THE INITIATION OF ANY CONSTRUCTION ON THE PROJECT OR IN THE STREETS BORDERING THE PROJECT. THE CONTRACTOR SHALL ALSO ASSUME FULL RESPONSIBILITY FOR DAMAGE TO ANY UTILITIES ENCOUNTERED WITHIN CONSTRUCTION PERIMETERS, WHETHER SHOWN ON THE CONSTRUCTION PLANS OR NOT, DURING THE WORK ON THE PROJECT. FOR SITE LOCATION OF EXISTING UTILITIES INVOLVING MEMPHIS LIGHT, GAS, AND WATER (MLGW), SOUTH CENTRAL BELL AND/OR TEXAS GAS COMPANY, CALL 1-800-351-1111. FOR SEWER LOCATION CALL 529-8025.
- CONTRACTOR SHALL MAINTAIN ACCESS TO ALL PROPERTIES.
- ALL FILL SOILS SHALL BE COMPACTED TO A MINIMUM OF 98% OF STANDARD PROCTOR DENSITY (ASTM D-698) WITHIN 3% OF OPTIMUM MOISTURE CONTENT IN LIFTS NOT TO EXCEED SIX (6) INCHES OF COMPACTED THICKNESS.
- ALL CONSTRUCTION MATERIALS AND PROCEDURES SHALL MEET OR EXCEED THE REQUIREMENTS OF THE CITY OF MEMPHIS STANDARD CONSTRUCTION SPECIFICATIONS.
- PROPERTY LINES SHALL BE FIELD VERIFIED PRIOR TO CONSTRUCTION. GRADING, CLEARING AND THE ERECTION OF REMOVAL OF FENCES ALONG PROPERTY LINES SHALL BE FULLY COORDINATED WITH ADJACENT PROPERTY OWNERS.
- VERIFY SITE CONDITIONS PRIOR TO CONSTRUCTION. NOTIFY THE CITY OF MEMPHIS CONSTRUCTION INSPECTION OFFICE ENGINEER OF ANY VARIATIONS PRIOR TO COMMENCEMENT OF WORK.
- ALL GRADING WORK SHALL BE PERFORMED IN SUCH A MANNER THAT ADJACENT PROPERTIES ARE NOT DAMAGED OR ADVERSELY AFFECTED.
- LOT DRAINAGE: FINISH GRADE SHALL BE SLOPED AWAY FROM THE FOUNDATION FOR DRAINAGE. THE FINISH GRADE MUST BEGIN AT LEAST 12-INCHES BELOW THE TOP OF THE FOUNDATION WALL OR THE GRADE OF THE CONCRETE SLAB AT THE INTERIOR IN THE CASE OF AN INTEGRAL SLAB AND FOUNDATION. THE MINIMUM GRADE AWAY FROM THE FOUNDATION SHALL BE TWO PERCENT (2%) IN ALL DIRECTIONS. THE DRIVEWAY SHALL BE SLOPED DOWN AT TWO PERCENT (2%) FOR AT LEAST EIGHT FEET FROM THE STRUCTURE.

BENCHMARK
CITY OF MEMPHIS BENCH MARK # 1406: LOCATED AT THE INTERSECTION OF DANNY THOMAS BOULEVARD & WASHINGTON AVENUE. ELEVATION = 229.89 (NAVD88)

100 YEAR FLOOD ELEVATION 233.00+
PER F.E.M.A. PANEL 470177 0270F DATED SEPTEMBER 28, 2007, THIS PROPERTY IS LOCATED IN ZONE X "AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN".

SEWER BASIN ID: FS-2
DRAINAGE BASIN: GAYOSO BAYOU 1-G

DWG NO.
C3-00

SHEET 1 OF 1

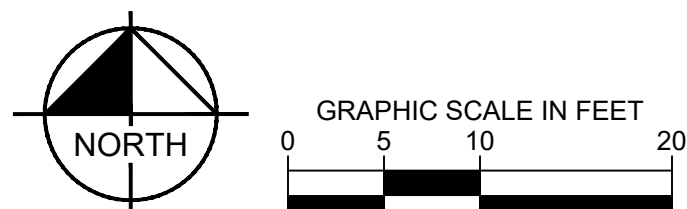
DIVISION OF ENGINEERING

GRADING AND DRAINAGE PLAN

LOCATION: 255 N MAIN STREET
MEMPHIS, TN 38103

SURVEY HARRIS & ASSOC. DATE: 04/17/2023 BOOK: SEE SURVEY
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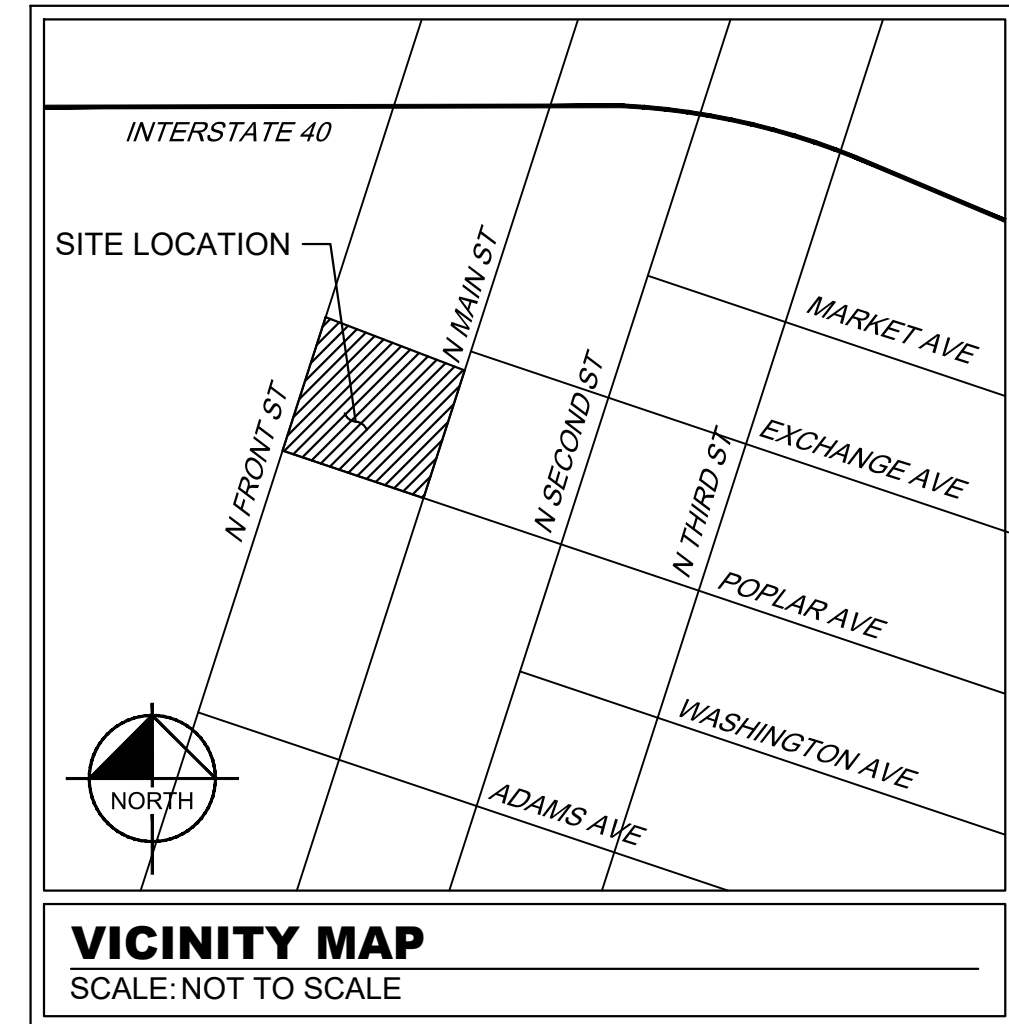
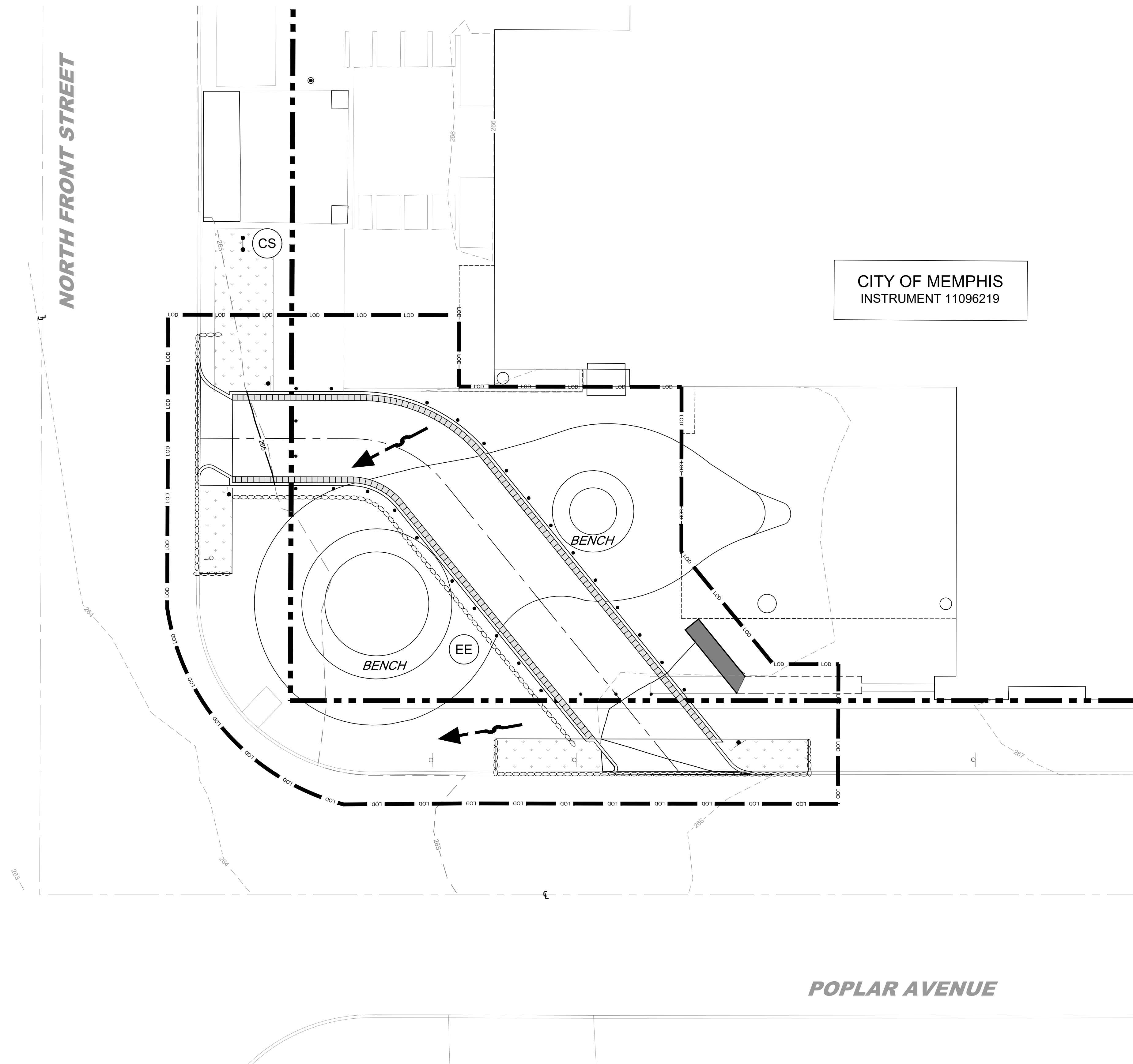


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CANNON CENTER VISITOR DROP-OFF

OWNER: CANNON CENTER FOR THE PERFORMING ARTS
ENGINEER: KIMLEY-HORN AND ASSOCIATES, INC.



EROSION CONTROL LEGEND

		EROSION EELS
		CONSTRUCTION SIGN
		LIMITS OF DISTURBANCE - (0.17 ± ACRES)
		FLOW ARROWS

SCHEDULE NOTES

<p>PHASE I:</p> <ol style="list-style-type: none">1. INSTALL STABILIZED CONSTRUCTION EXIT.2. INSTALL CONCRETE CURB/OUTLET.3. INSTALL INLET PROTECTION AT EXISTING STORMWATER INLETS.4. INSTALL EROSION EELS AS SHOWN ON THE PHASE I PLAN.5. PREPARE TEMPORARY PARKING AND STORAGE AREA.6. PERFORM DEMOLITION AND CLEARING OF THE SITE.7. BEGIN GRADING ACTIVITIES.8. BEGIN DRIVEWAY CONSTRUCTION.9. COMPLETE GRADING.10. STABILIZE SOIL BY SEEDING AND/OR SODDING, AND LANDSCAPING.11. REMOVE ALL TEMPORARY EROSION AND SEDIMENT CONTROL DEVICES ONCE THE SITE HAS BEEN STABILIZED.

STABILIZATION NOTES	
ALL AREAS WHERE CONSTRUCTION HAS CEASED, EITHER TEMPORARILY OR PERMANENTLY, MUST BE STABILIZED WITHIN 14 DAYS.	


ALL CONCRETE WASHOUT TO BE COMPLETED OFFSITE AT AN APPROVED FACILITY.

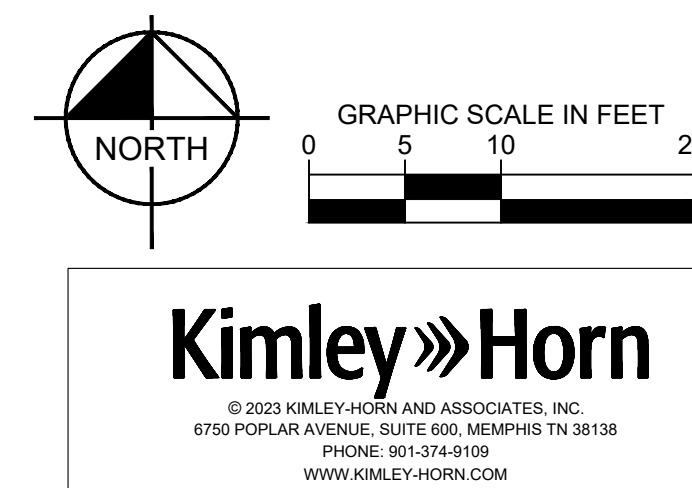
EROSION CONTROL NOTES

1. A MINIMUM OF 24 HOURS PRIOR TO BEGINNING CONSTRUCTION, THE CONTRACTOR SHALL NOTIFY THE CITY OF MEMPHIS CONSTRUCTION INSPECTION OFFICE.
2. ALL NEWLY CUT OR FILLED AREA, LACKING ADEQUATE VEGETATION, SHALL BE SEEDED, MULCHED, FERTILIZED, AND/OR SODED AS REQUIRED TO EFFECTIVELY CONTROL SOIL EROSION.
3. CONTRACTOR SHALL MAINTAIN ACCESS TO ALL PROPERTIES
4. ALL SOIL SHALL BE COMPACTED TO A MINIMUM OF STANDARD PROCTOR DENSITY (ASTM D-698) WITHIN 3% OF OPTIMUM MOISTURE CONTENT IN LIFTS NOT TO EXCEED SIX INCHES OF COMPACTED THICKNESS.
5. ALL CONSTRUCTION METHODS AND PROCEDURES SHALL MEET OR EXCEED THE REQUIREMENTS OF THE CITY OF MEMPHIS STANDARD CONSTRUCTION SPECIFICATIONS.
6. PROPERTY LINES SHALL BE FIELD VERIFIED PRIOR TO CONSTRUCTION, GRADING, CLEARING, AND THE ERECTION OR REMOVAL OF FENCES ALONG PROPERTY LINES SHALL BE FULLY COORDINATED WITH THE ADJACENT PROPERTY OWNER.
7. VERIFY SITE CONDITIONS PRIOR TO CONSTRUCTION. NOTIFY THE CITY OF MEMPHIS CONSTRUCTION INSPECTION OFFICE ENGINEER OF ANY VARIATIONS PRIOR TO COMMENCEMENT OF WORK.
8. ALL GRADING WORK SHALL BE PERFORMED IN SUCH A MANNER THAT ADJACENT PROPERTIES ARE NOT DAMAGED OR ADVERSELY AFFECTED.
9. LOT DRAINAGE: FINISH GRADE SHALL BE SLOPED AWAY FROM THE FOUNDATION FOR DRAINAGE.
10. ALL EXISTING GRADE SHALL BE MAINTAINED AT LEAST 12 INCHES BELOW THE TOP OF THE FOUNDATION WALL OF THE GRADE OF THE CONCRETE SLAB AT THE INTERIOR IN THE CASE OF AN INTEGRAL SLAB AND FOUNDATION.
11. THE CONTRACTOR SHALL PROVIDE ADEQUATE AND EFFECTIVE EROSION CONTROL AS NECESSARY TO PREVENT ANY SILTATION INTO EXISTING DRAINAGE SYSTEM AND/OR ADJACENT PROPERTIES.
12. ALL EROSION CONTROL MEASURES MUST BE INSTALLED PRIOR TO COMMENCEMENT OF GRADING OPERATIONS AND BE MAINTAINED UNTIL ALL DISTURBED AREAS ON THE SITE HAVE BEEN RESTORED.
13. ALL TEMPORARY EROSION CONTROL INSTALLATIONS SHALL REMAIN IN PLACE AND BE MAINTAINED IN GOOD CONDITIONS BY THE CONTRACTOR UNTIL THE SITE HAS BEEN RE-VEGETATED, AT WHICH TIME IT SHALL BE REMOVED. FOR PROPOSED PAVED SURFACE AREAS, THE CONTRACTOR MAY REMOVE EROSION CONTROL MEASURES NECESSARY TO CONSTRUCT ROADWAYS, WHILE MAINTAINING ADEQUATE EROSION CONTROL IN ADJACENT AREAS.
14. THE CONTRACTOR SHALL SCHEDULE SITE GRADING, UTILITY INSTALLATION AND ROADWAY CONSTRUCTION SO AS TO AVOID GENERAL EROSION OF ADJACENT AREAS, AND TO AVOID DISTURBANCE. ALL DISTURBED AREAS SHALL BE SEEDED AND MULCHED WITHIN 14 DAYS AFTER COMPLETION OF FINAL GRADING OR AFTER 14 DAYS OF GRADING INACTIVITY.
15. INSPECTIONS MUST BE PERFORMED BY AN EROSION PREVENTION AND SEDIMENT CONTROL SPECIALIST OR A LEVEL CERTIFIED PERSONNEL. EROSION CONTROL MEASURES SHALL BE CHECKED, AND REPAIRED AS NECESSARY, TWICE WEEKLY AT LEAST 72 HOURS APART AND IN DRY PERIODS AND WITHIN 24 HOURS AFTER ANY RAINFALL OF 0.5 INCHES WITHIN A 24 HOUR PERIOD, DURING ANY PERIOD OF RAINFALL. CHECKING AND REPAIRING IS NECESSARY. THE PERMITTEE SHALL MAINTAIN RECORDS OF CHECKS AND REPAIRS. A RAIN GAUGE MUST BE MAINTAINED AT THE CONSTRUCTION SITE.
16. SEDIMENT DEPOSITS SHOULD BE REMOVED AFTER EACH STORM EVENT, THEY MUST BE REMOVED TO A MINIMUM DEPTH APPROXIMATELY ONE HALF THE HEIGHT OF THE BARRIER.
17. FABRIC SHOULD BE REPLACED PROMPTLY WHEN IT DECOMPOSES OR BECOMES INEFFECTIVE. ANY SEDIMENT REMAINING AFTER THE SILT FENCE OR FILTER FABRIC IS NO LONGER NEEDED SHALL BE DRESSED INTO THE ROAD WITHIN 24 HOURS OF REMOVAL. PREPARED AND SEEDED WITH THE APPROPRIATE SEED MIX, AS DIRECTED BY THE ENGINEER.
18. SILT FENCE SHALL BE REMOVED WHEN IT HAS SERVED ITS USEFUL PURPOSE, BUT NOT BEFORE THE UPWARD SLOPING AREA HAS BEEN PERMANENTLY STABILIZED.
19. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL REQUIRED PERMITS HAVE BEEN OBTAINED PRIOR TO BEGINNING ANY CONSTRUCTION OR OTHER ACTIVITY ON THE SITE.
20. THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING SOIL EROSION CONTROL MEASURES IN PLACE ON THE SITE UNTIL THE PROJECT IS COMPLETED. THE OWNER DURING CONSTRUCTION, THE CONTRACTOR SHALL ALSO BE RESPONSIBLE FOR SATISFYING THE REQUIREMENTS OF THE STATE OF TENNESSEE DEPARTMENT OF ENVIRONMENT AND CONSERVATION (TDEC) AS SET FORTH IN THE TENNESSEE EROSION & SEDIMENT CONTROL HANDBOOK 4TH EDITION. ALL SOIL EROSION PREVENTION MEASURES SHALL BE MAINTAINED THROUGHOUT THE PROJECT, AND AS SO AS TO PREVENT ANY SEDIMENT FROM WASHING OFF THE SITE ONTO ADJACENT PROPERTY OR PUBLIC RIGHTS-OF-WAY. THE CONTRACTOR SHALL MAINTAIN A LOG OF ALL MAINTENANCE ACTIVITIES FOR THE EROSION CONTROL MEASURES AS REQUIRED BY TDEC.
21. A COPY OF THIS PLAN MUST BE AVAILABLE ON SITE.
22. EROSION AND SEDIMENT CONTROL MEASURES MUST BE IN PLACE AND FUNCTIONAL BEFORE EARTH MOVING OPERATIONS BEGIN, AND MUST BE CONSTRUCTED AND MAINTAINED THROUGHOUT THE CONSTRUCTION PROJECT. TEMPORARY EROSION CONTROL MEASURES MUST BE IN PLACE AT THE BEGINNING OF THE WORK DAY BUT MUST BE REPLACED AT THE END OF THE WORK DAY.
23. THE INTENT OF THE EROSION AND SEDIMENT CONTROL PLAN IS TO MINIMIZE THE RELEASE OF DISTURBED POLYMERIZED POLYMER DOWNWARD INTO PROPERTIES AND DRAINAGE SYSTEMS.
24. ALL DISTURBED AREAS ARE TO DRAIN TO APPROVED SEDIMENT CONTROL MEASURES AT ALL TIMES DURING LAND DISTURBING ACTIVITIES.
25. CONSTRUCTION WILL BE SEQUENCED SO THAT GRADING OPERATIONS CAN BEGIN AND END AS SOON AS POSSIBLE.
26. AREAS WHICH ARE NOT TO BE DISTURBED WILL BE CLEARLY MARKED BY FENCING, FLAGS, SIGNS, ETC.
27. DURING CONSTRUCTION OF THE PROJECT, SOIL STOCKPILES SHALL BE STABILIZED OR PROTECTED WITH SEDIMENT TRAPPING MEASURES. THE APPLICANT IS RESPONSIBLE FOR THE TEMPORARY PROTECTION AND PERMANENT STABILIZATION OF ALL SOIL STOCKPILES ON SITE AS WELL AS SOIL INTENTIONALLY TRANSPORTED FROM THE PROJECT SITE.
28. ALL CONVEYANCE SYSTEMS SHALL BE PROTECTED DURING CONSTRUCTION. THE CONVEYANCE SYSTEM SHALL BE PROTECTED SO THAT SEDIMENT-LADEN WATER CANNOT ENTER THE CONVEYANCE SYSTEM WITHOUT FIRST BEING FILTERED OR OTHERWISE TREATED TO REMOVE SEDIMENT.
29. THE INSPECTOR SHALL BE NOTIFIED IMMEDIATELY AFTER EACH SIGNIFICANT STORM. THE PROJECT SUPERINTENDENT SHALL BE RESPONSIBLE FOR THE INSTALLATION AND MAINTENANCE OF ALL EROSION AND SEDIMENT CONTROL MEASURES.

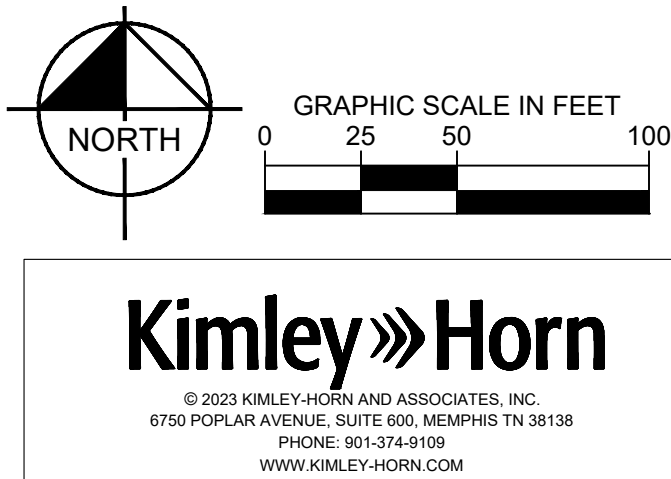
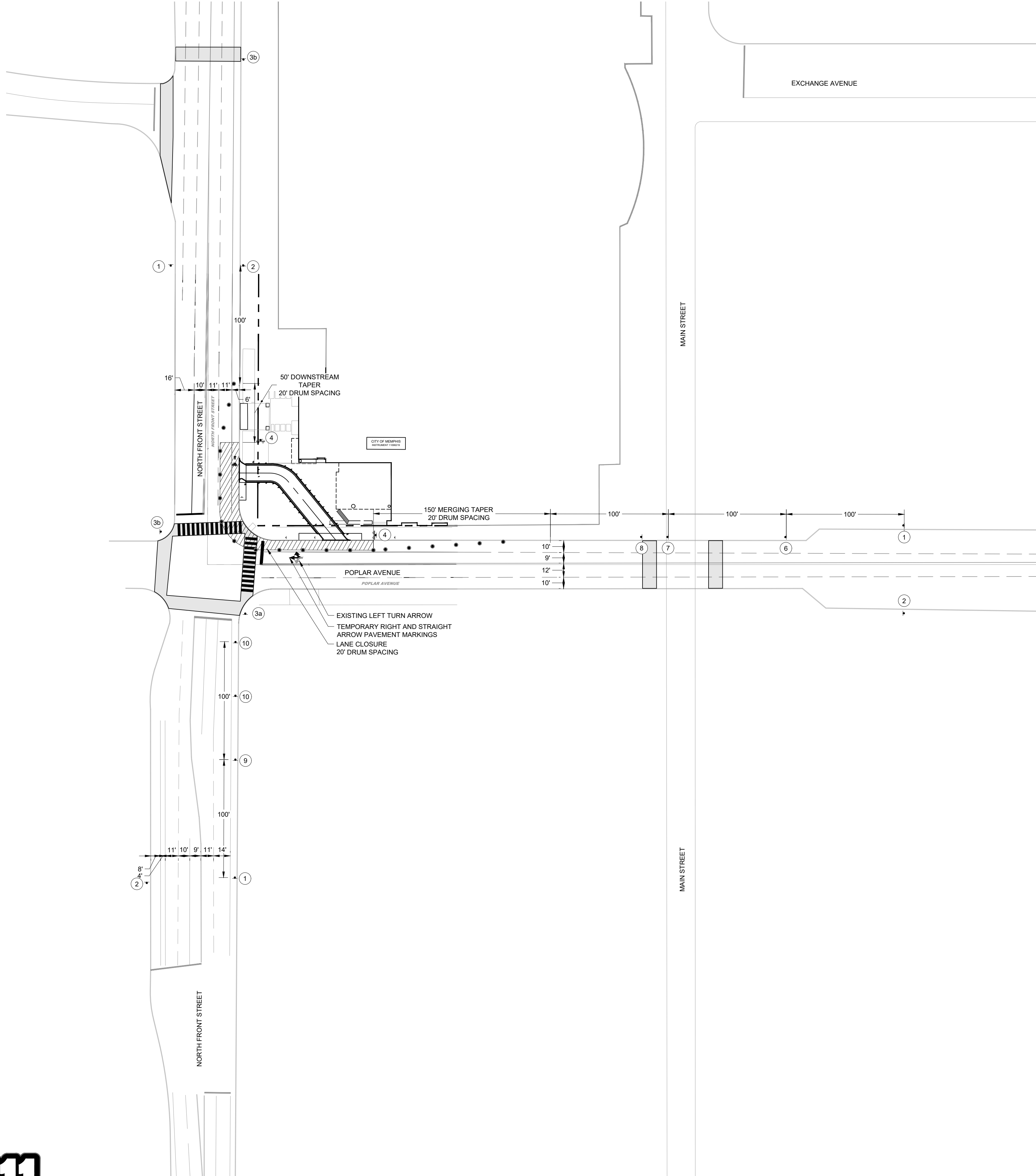
BENCHMARK
CITY OF MEMPHIS BENCH MARK # 1406: LOCATED AT THE INTERSECTION OF DANNY THOMAS
BOULEVARD & WASHINGTON AVENUE. ELEVATION = 229.89 (NAVD88)

100 YEAR FLOOD ELEVATION 233.00±
PER F.E.M.A PANEL 470177 0270F DATED SEPTEMBER 28, 2007, THIS PROPERTY IS LOCATED
ZONE X "AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN".

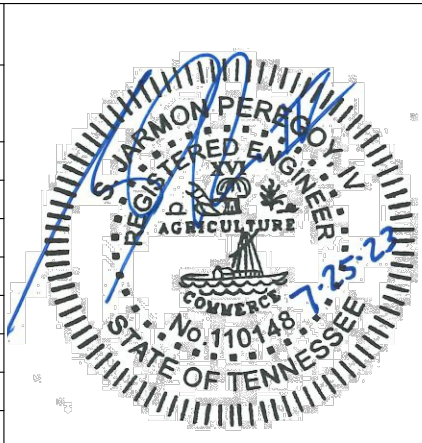
		REVISION		DWG NO. DRAINAGE BASIN: GAYOSO BAYOU 1-G <div style="float: right; border: 1px solid black; padding: 2px;">C4-0</div>	
ITEM NO.	DESCRIPTION OF CHANGE	APPROVAL DATE			
<p>CANNON CENTER VISITOR DROP-OFF</p> <p>OWNER: CANNON CENTER FOR THE PERFORMING ARTS ENGINEER: KIMLEY-HORN AND ASSOCIATES, INC.</p>			<p style="text-align: center;">SHEET 1 OF 1</p> <hr/> <p style="text-align: center;">DIVISION OF ENGINEERING</p> <h2 style="text-align: center;">EROSION AND SEDIMENT CONTROL PLAN</h2> <p style="text-align: center;">LOCATION: 255 N MAIN STREET MEMPHIS, TN 38103</p> <hr/> <p>SURVEY <u>HARRIS & ASSOC.</u> DATE: <u>04/17/2023</u> BOOK: <u>SEE SURVEY</u> DESIGN BY <u>KHA</u> DATE: <u>07/18/2023</u> SCALE: <u>AS NOTED</u></p> <hr/> <p>DEPUTY CITY ENGINEER _____ DATE _____ CITY ENGINEER _____ DATED _____</p>		



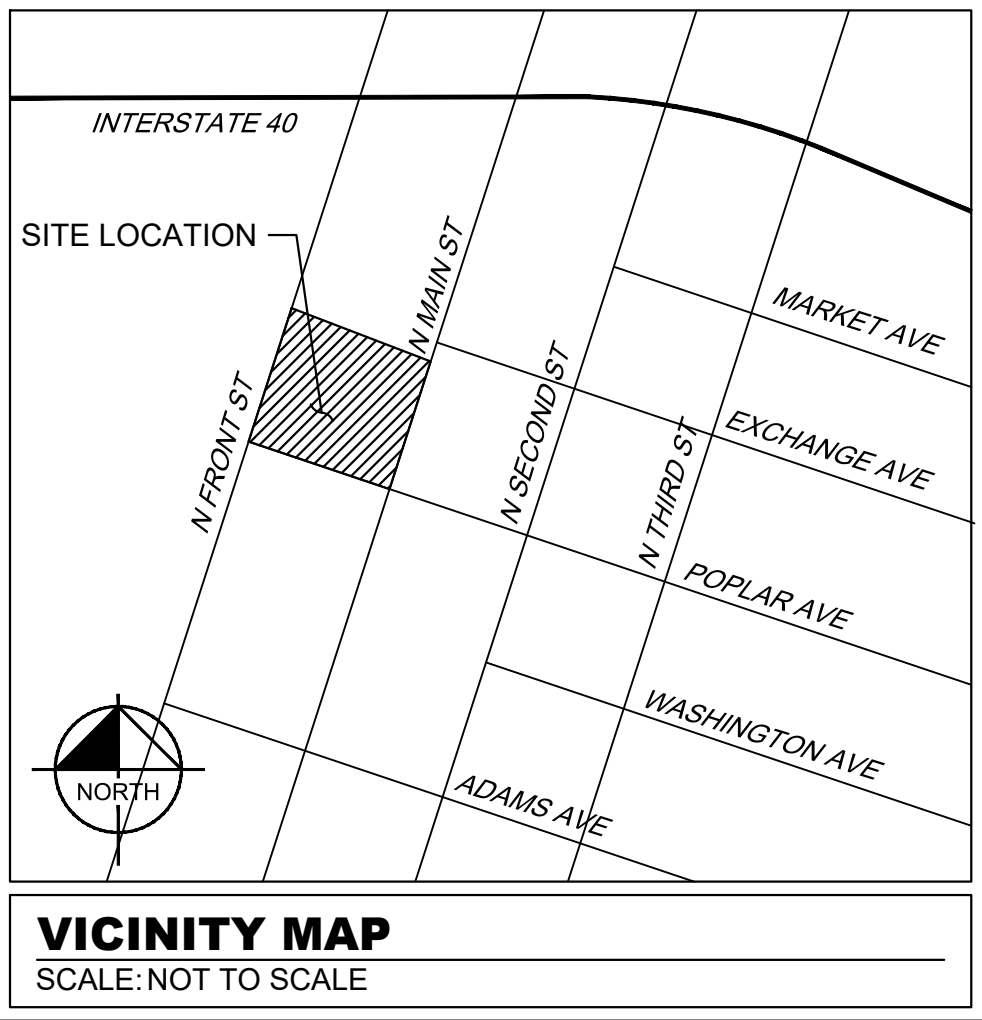
Plotted By: Bryant L. Tim Sheet Set: CANNON CENTER VISITOR DROP-OFF Layout: C5-00 TRAFFIC CONTROL PLAN July 25, 2023 01:58:38pm K:\NEW\LAP\115519001 - cannon center visitor drop-off\2-CADD\2-plan\sheets\C5-00 TRAFFIC CONTROL PLAN.dwg



REVISION		
ITEM NO.	DESCRIPTION OF CHANGE	APPROVAL DATE



**CANNON CENTER
VISITOR DROP-OFF**
OWNER: CANNON CENTER FOR THE PERFORMING ARTS
ENGINEER: KIMLEY-HORN AND ASSOCIATES, INC.



- TRAFFIC CONTROL NOTES**
- SEE SECTION 6F.03, SIGN PLACEMENT, OF THE STATE OF TENNESSEE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD) FOR INFORMATION ON PLACEMENT AND MOUNTING OF SIGNS.
 - SIGNS SHOWN ON THIS PLAN ARE TO WARN TRAFFIC ABOUT THE CONSTRUCTION. OTHER TRAFFIC CONTROL DEVICES MAY BE REQUIRED DURING VARIOUS PHASES OF CONSTRUCTION.
 - NOTHING IN THIS PLAN IS INTENDED TO SUPERSEDE OR RELIEVE THE CONTRACTOR OF THE RESPONSIBILITY OF INSTALLING THE APPROPRIATE TRAFFIC CONTROL DEVICES IN ACCORDANCE WITH THE CURRENT STATE OF TENNESSEE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES FOR STREETS AND HIGHWAYS.
 - CONTRACTOR SHALL BE REQUIRED TO NOTIFY THE CITY OF MEMPHIS CONSTRUCTION INSPECTION DEPARTMENT (636-2462) AND TRAFFIC ENGINEERING DEPARTMENT (636-6710) A MINIMUM OF 24 HOURS PRIOR TO COMMENCING CONSTRUCTION OR IMPLEMENTING A TRAFFIC CONTROL PLAN. ALL TRAFFIC CONTROL DEVICES MUST BE IN PLACE BEFORE CONSTRUCTION ACTIVITY BEGINS.
 - SIZES OF ALL SIGNS SHALL COMPLY WITH STATE OF TENNESSEE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD).
 - ALL TRAFFIC CONTROL DEVICES AND THEIR INSTALLATION SHALL MEET THE STANDARD PRESCRIBED IN THE STATE OF TENNESSEE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES AND SHALL COMPLY WITH THE STATE OF TENNESSEE STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION SECTION 712 TEMPORARY TRAFFIC CONTROL.
 - ACCESS TO ADJACENT PROPERTIES SHALL BE MAINTAINED AT ALL TIMES.
 - SIDE STREET, DRIVEWAY ACCESS, AND SAFE PEDESTRIAN WAYS SHALL BE MAINTAINED AT ALL TIMES.
 - THE CONTRACTOR SHALL NOT BE PERMITTED TO PARK ANY VEHICLES OR CONSTRUCTION EQUIPMENT DURING PERIODS OF INACTIVITY, WITHIN THE RIGHT-OF-WAY OR WITHIN THIRTY (30) FEET OF THE EDGE OF PAVEMENT WHICHEVER IS LESS, WHEN THE LANE IS OPEN TO TRAFFIC, UNLESS PROTECTED BY GUARDRAIL, BRIDGE RAIL, AND/OR BARRIERS INSTALLED FOR OTHER PURPOSES. PRIVATELY OWNED VEHICLES SHALL NOT BE ALLOWED TO BE PARKED WITHIN THE RIGHT-OF-WAY OR WITHIN THIRTY (30) FEET OF AN OPEN TRAFFIC LANE WHICHEVER IS LESS, AT ANY TIME UNLESS PROTECTED AS DESCRIBED ABOVE.
 - CONTRACTOR SHALL USE PLASTIC DRUMS WITH TYPE 'A' WARNING LIGHTS TO SEPARATE TRAFFIC FROM THE CONSTRUCTION AREA.
 - CONTRACTOR SHALL COVER ALL EXISTING SIGNS THAT CONFLICT WITH THE TRAFFIC CONTROL PLAN SIGNS OR DEVICES DURING CONSTRUCTION AND THEY SHALL REMAIN COVERED DURING CONSTRUCTION AND UNTIL SUCH TIME THAT NO CONFLICT EXISTS.
 - ALL TEMPORARY OR PERMANENT TRAVELED SURFACE SHALL BE INSPECTED DAILY BY THE CONTRACTOR (INCLUDING WEEKENDS) AND NECESSARY PATCHING OR RE-FINISHING PERFORMED.
 - WORK WITHIN THE ROADWAY SHALL BE CONDUCTED BETWEEN 9:00 A.M. AND 4:00 P.M. AND THE ROADWAY SHALL BE COMPLETELY OPEN TO TRAFFIC AT ALL OTHER TIMES AND ALL INAPPROPRIATE SIGNS SHALL BE COVERED OR REMOVED.
 - CONTRACTOR SHALL CONTACT THE CITY OF MEMPHIS SIGNAL SHOP AT 528-2844 FOR LOCATION OF SIGNAL CONDUIT AND WIRES.
 - EXISTING STRIPING THAT CONFLICTS WITH THE TEMPORARY TRAFFIC CONTROL DEVICES SHALL BE COVERED OR REMOVED DURING CONSTRUCTION WHEN CONSTRUCTION IS COMPLETE THE EXISTING STRIPING SHALL BE RETURNED TO ITS ORIGINAL STATE.
 - ALL TRAFFIC CONTROL SIGNS SHALL MEET THE MINIMUM RETROREFLECTIVITY LEVELS SPECIFIED IN THE CURRENT EDITION OF THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD).
 - THE DEVELOPER SHALL PROVIDE A TRAFFIC CONTROL PLAN TO THE CITY ENGINEER THAT SHOWS THE PHASING FOR EACH STREET FRONTAGE DURING DEMOLITION OR CONSTRUCTION OF CURB GUTTER AND SIDEWALK. UPON COMPLETION OF SIDEWALK, CURB AND GUTTER IMPROVEMENTS, A MINIMUM 5 FEET WIDE PEDESTRIAN PATHWAY SHALL BE PROVIDED THROUGHOUT THE REMAINDER OF THE PROJECT.
 - ANY CLOSURE OF THE RIGHT OF WAY SHALL BE TIME LIMITED TO THE ACTIVE DEMOLITION OR CONSTRUCTION. CONTINUOUS UNWARRANTED CLOSURE OF THE RIGHT OF WAY SHALL NOT BE ALLOWED FOR THE DURATION OF THE PROJECT. THE DEVELOPER SHALL PROVIDE ON THE TRAFFIC CONTROL PLAN, THE TIME NEEDED PER PHASE TO COMPLETE THAT PORTION OF THE WORK. TIME LIMITS WILL BEGIN ON THE DAY OF CLOSURE AND WILL BE MONITORED BY THE ENGINEERING CONSTRUCTION INSPECTORS (636-2462) ON THE JOB.
 - THE CONTRACTOR SHALL NOTIFY MEMPHIS AREA TRANSIT AUTHORITY (MATA) AT 722-7100 A MINIMUM OF 48 HOURS PRIOR TO IMPLEMENTING A TRAFFIC CONTROL PLAN.

POPLAR AVENUE:
DESIGN SPEED: 30 MPH
FRONT STREET:
DESIGN SPEED: 25 MPH

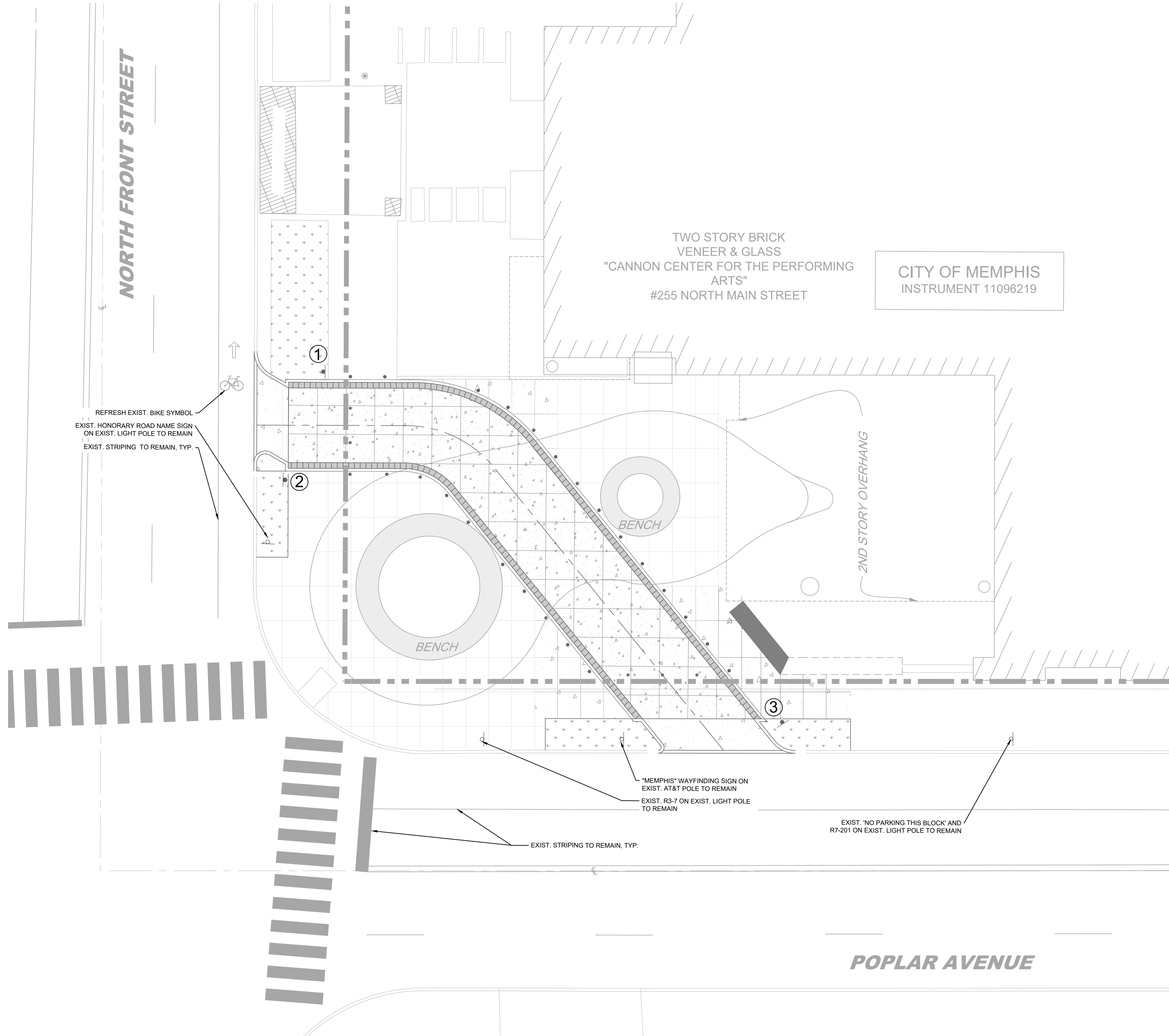
DURATION OF TRAFFIC CONTROL:
DATE:

BENCHMARK
CITY OF MEMPHIS BENCH MARK # 1406: LOCATED AT THE INTERSECTION OF DANNY THOMAS BOULEVARD & WASHINGTON AVENUE. ELEVATION = 229.89 (NAVD88)

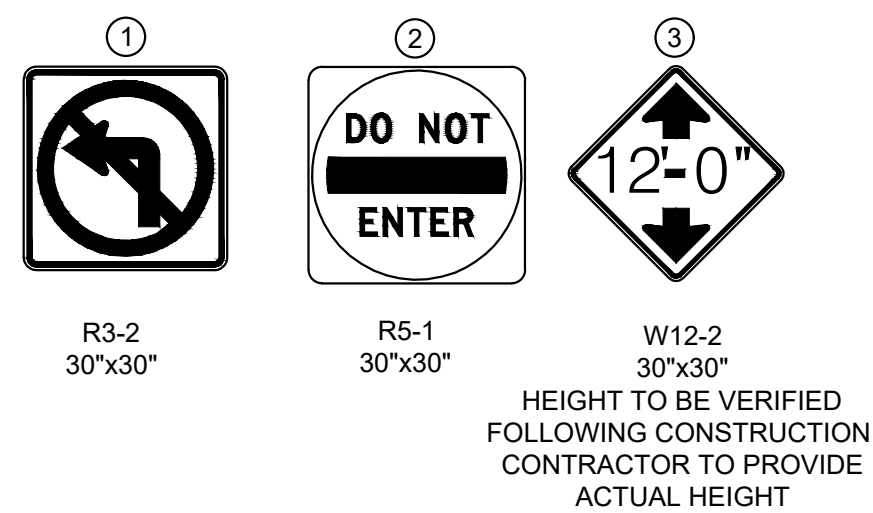
100 YEAR FLOOD ELEVATION 233.00±
PER F.E.M.A PANEL 470177 0270F DATED SEPTEMBER 28, 2007, THIS PROPERTY IS LOCATED IN ZONE X 'AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN'.

SEWER BASIN ID: FS-2 DRAINAGE BASIN: GAYOSO BAYOU 1-G		DWG NO. C5-00
SHEET 1 OF 1 DIVISION OF ENGINEERING TRAFFIC CONTROL PLAN LOCATION: 255 N MAIN STREET MEMPHIS, TN 38103		
SURVEY HARRIS & ASSOC.	DATE: 04/17/2023	BOOK: SEE SURVEY
DESIGN BY KHA	DATE: 07/18/2023	SCALE: AS NOTED
DEPUTY CITY ENGINEER	DATE	CITY ENGINEER DATE

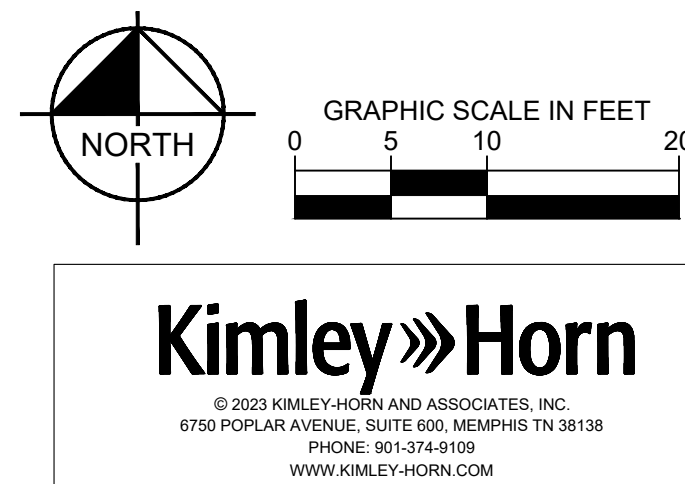
Plotted By: Bryant, Tim Sheet Set: CANNON CENTER VISITOR DROP-OFF Layout: 6 July 25, 2023 01:58:54pm K:\VIEW\LAP\115519001 - cannon center visitor drop-off\12-CADD\2-plansheets\06-00 SIGNING AND MARKING PLAN.dwg



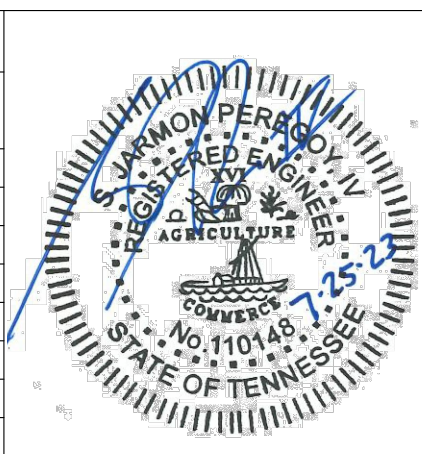
PROPOSED:
ALL PROPOSED SIGNS TO BE MOUNTED ON CUSTOM POSTS -
SEE DETAILS



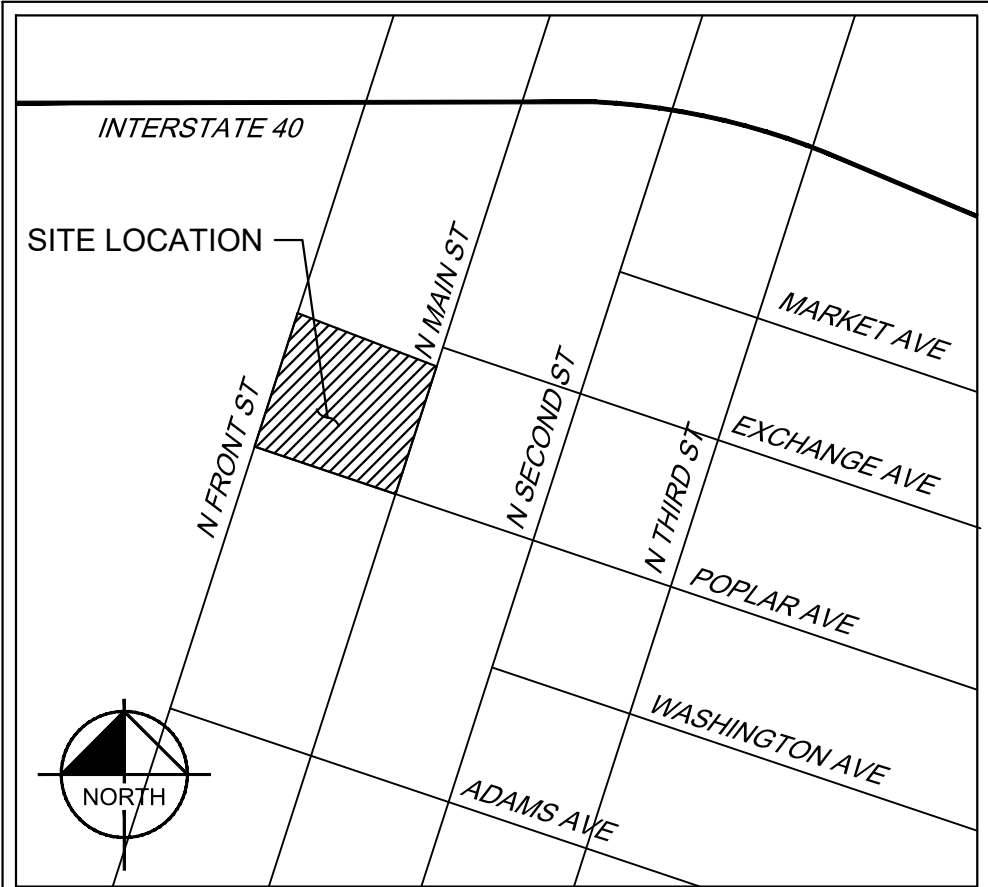
EXISTING:



REVISION		
ITEM NO.	DESCRIPTION OF CHANGE	APPROVAL DATE



**CANNON CENTER
VISITOR DROP-OFF**
OWNER: CANNON CENTER FOR THE PERFORMING ARTS
ENGINEER: KIMLEY-HORN AND ASSOCIATES, INC.



VICINITY MAP
SCALE: NOT TO SCALE

NOTES

1. INSTALL SIGNS AND PAVEMENT MARKINGS AS SHOWN PER CURRENT CITY OF MEMPHIS STANDARD CONSTRUCTION SPECIFICATIONS.
2. ANY EXISTING STRIPING THAT CONFLICTS WITH PROPOSED SHALL BE REMOVED.
3. ALL PAVEMENT MARKINGS SHALL BE HOT THERMOPLASTICS.
4. ALL LONG LINES SHALL BE 4" WIDE U.N.O.
5. THE CONTRACTOR SHALL CONTACT THE CITY OF MEMPHIS SIGNS AND MARKINGS DEPARTMENT AT (901) 528-2937 TO SCHEDULE A FIELD WALK THROUGH BEFORE INSTALLING ANY SIGNS AND MARKINGS.
6. RETURN ALL REMOVED SIGNS TO THE CITY OF MEMPHIS SIGNS AND MARKINGS SHOP.
7. ALL PROPOSED SIGN POLES SHALL MATCH SIZE, STYLE, AND COLOR AS SHOWN ON DETAIL 4, SHEET C7-01
8. ALL DECORATIVE SIGN POSTS SHALL BE MAINTAINED BY THE DEVELOPER

POSTED SPEED LIMIT	
POPLAR AVENUE	30 MPH
FRONT STREET	25 MPH

DWG NO.
C6-00

SHEET 1 OF 1

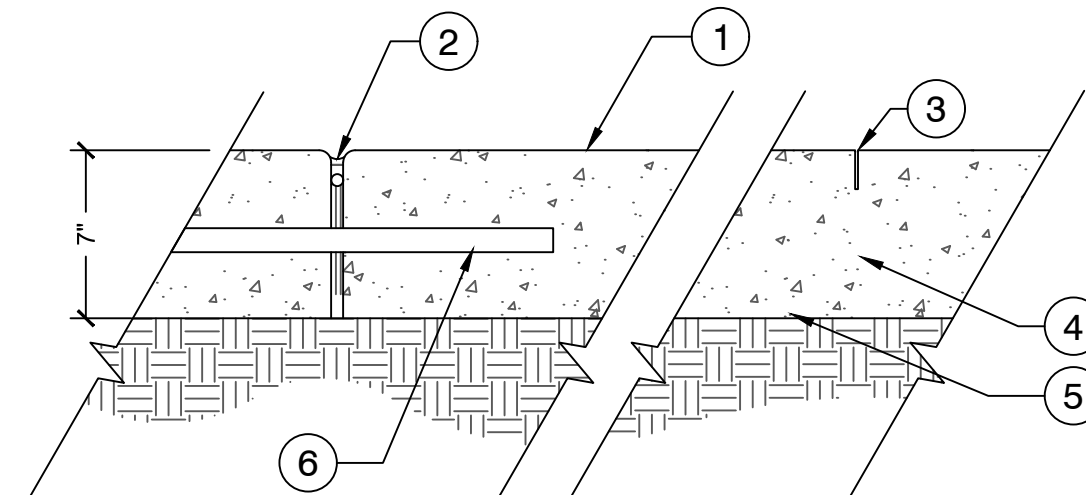
DIVISION OF ENGINEERING
SIGNING AND MARKING PLAN

LOCATION: 255 N MAIN STREET
MEMPHIS, TN 38103

SURVEY: HARRIS & ASSOC. DATE: 04/17/2023 BOOK: SEE SURVEY
DESIGN BY: KHA DATE: 07/18/2023 SCALE: AS NOTED

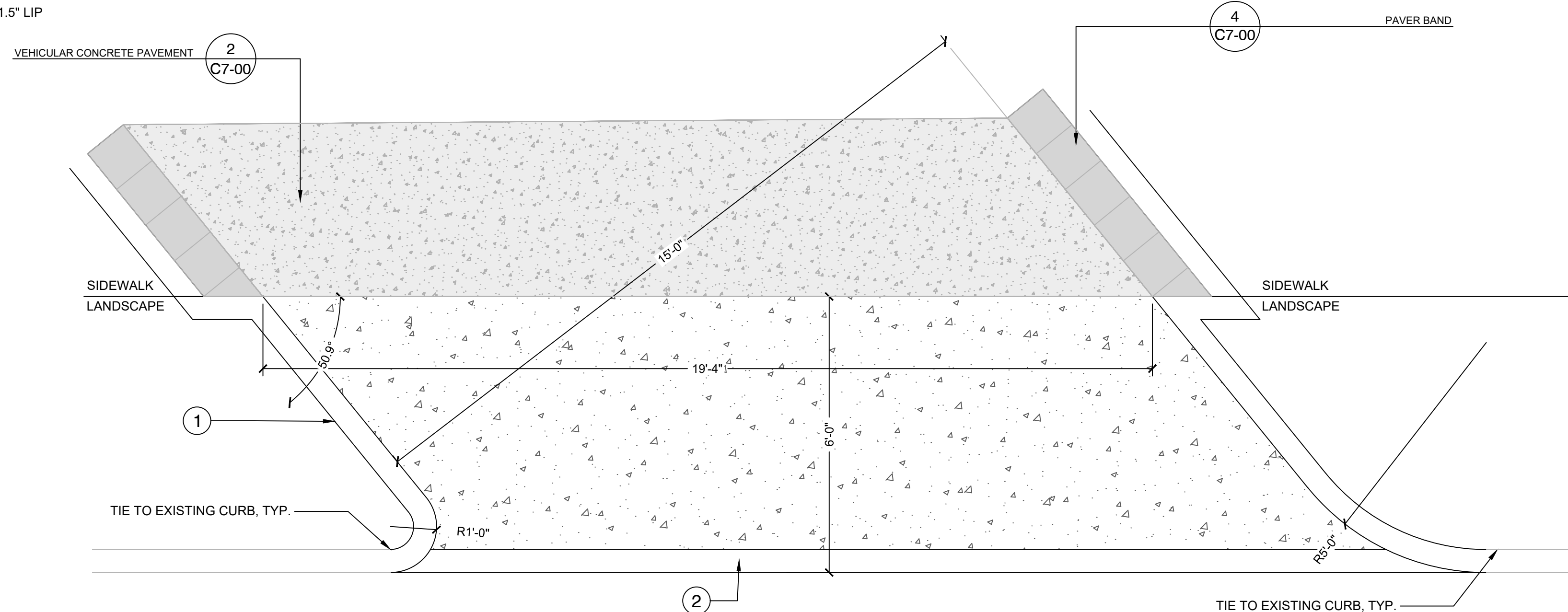
CITY TRAFFIC ENGINEER DATE CITY ENGINEER DATE

- ① WASHED AGGREGATE FINISH, 25% ETCH, REED QUARRY ANGULAR CHARCOAL STONE
- ② EXPANSION JOINT- REFER TO HARDSCAPE PLANS FOR LOCATIONS; SEE JOINT DETAILS
- ③ 1/8" W X (SEE JOINT DETAIL) SAWCUT CONTRACTION JOINT TYP SEE HARDSCAPE PLAN FOR LOCATION
- ④ 3500 PSI CONCRETE PAVING WITH SIKACOLOR - 120 G GRANULAR INTEGRAL COLOR: "C10 COOL GRAY"
- ⑤ COMPACTED SUBGRADE
- ⑥ LOAD TRANSFER DOWEL. SEE JOINT DETAILS

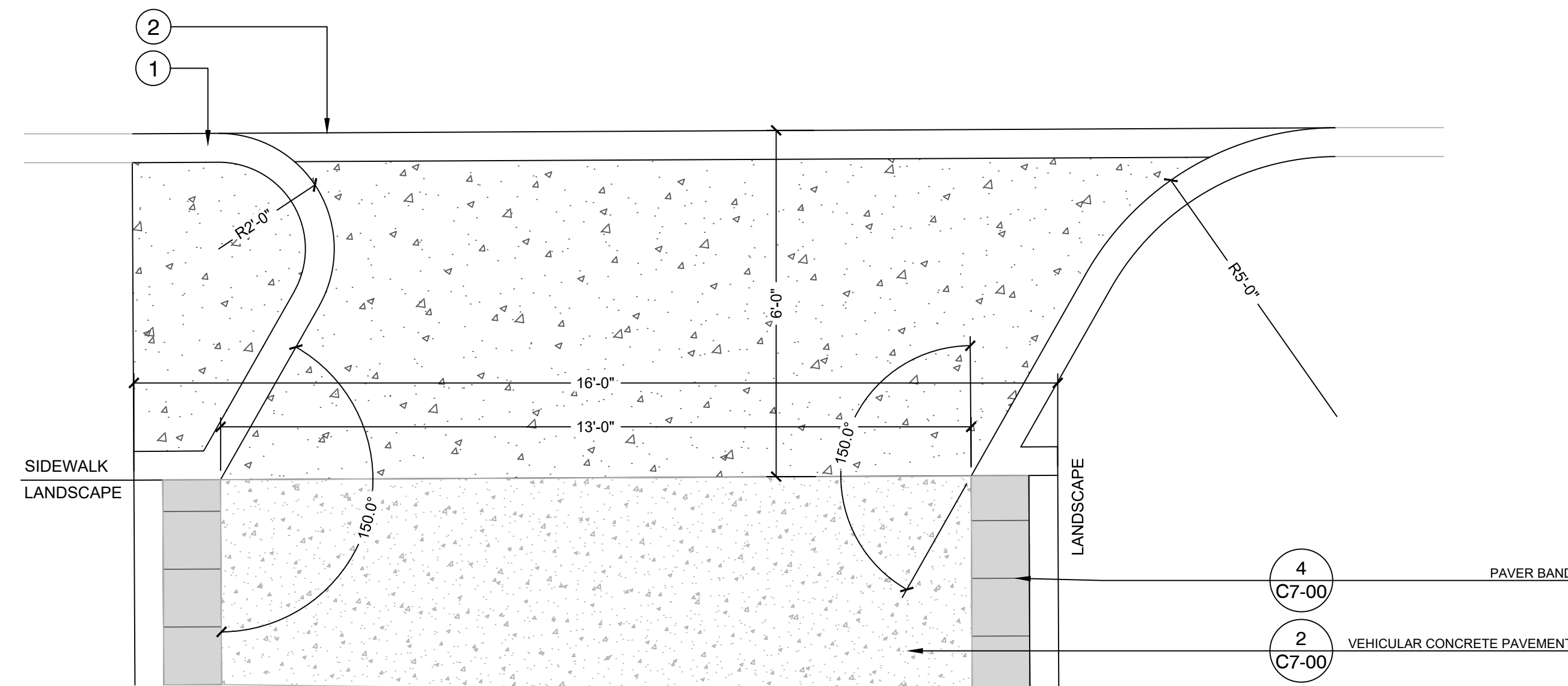


NOTE:
1. CONTRACTOR SHALL POUR 1' X 1' SAMPLES FOR SELECTION AND APPROVAL BY LANDSCAPE ARCHITECT PRIOR INSTALLATION

- ① 6" CURB
- ② 1.5" LIP



- ① 6" CURB
- ② 1.5" LIP



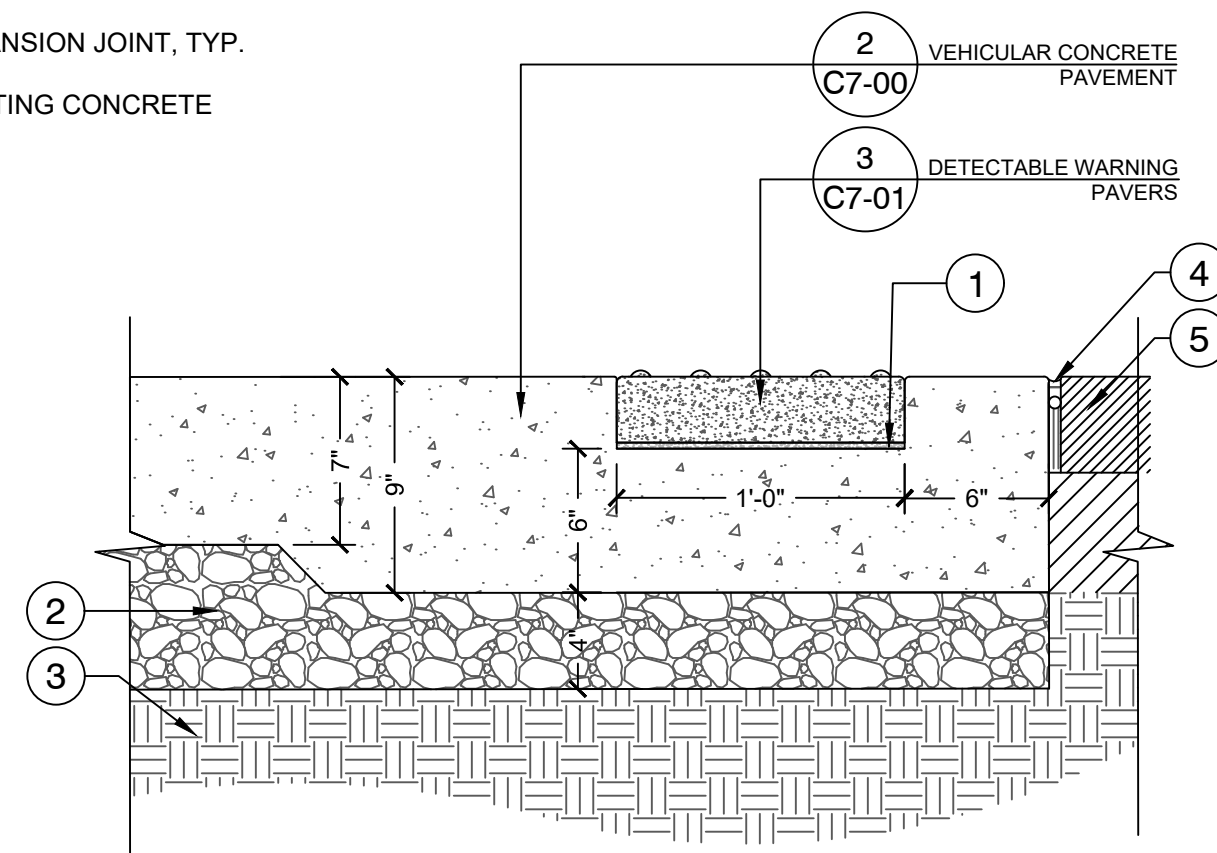
6 $1/2" = 1'-0"$

1 SAND SETTING BED
2 COMPACTED #8 LIMESTONE, 98%
STANDARD PROCTOR
3 COMPACTED SUBGRADE
4 EXPANSION JOINT, TYP.
5 EXISTING CONCRETE

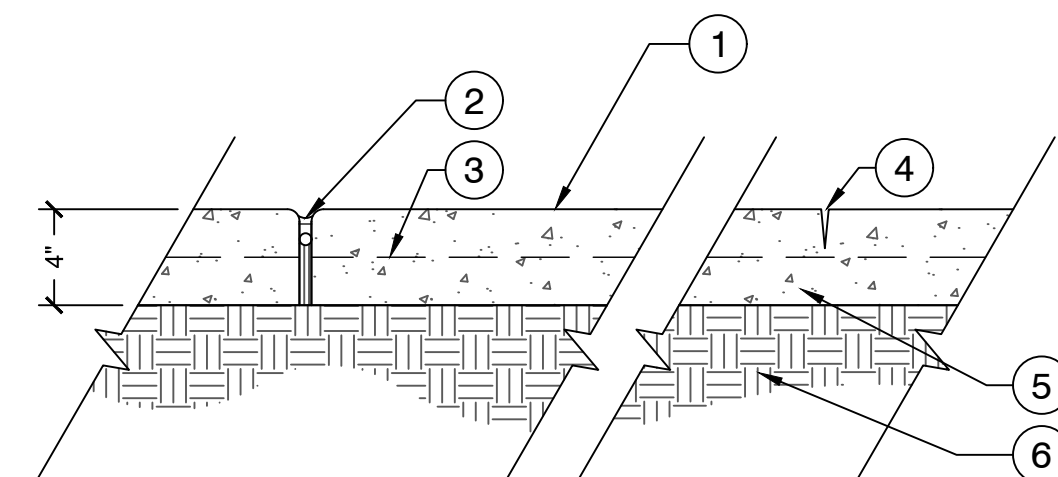
NOTE:
1. REFER TO PATTERN SHOWN HARDSCAPE
PLANS

2
C7-00

VEHICULAR CONC
PA

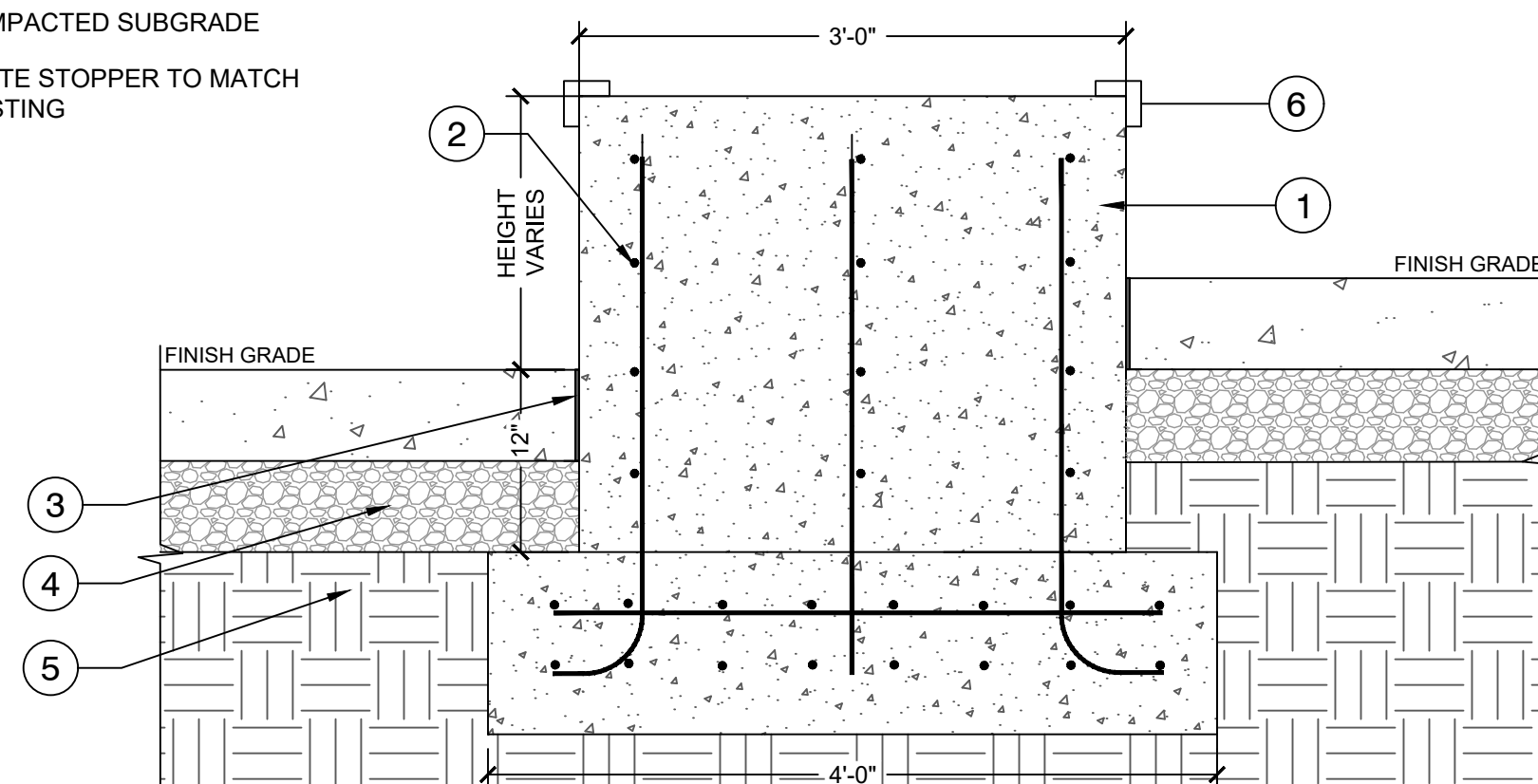


- ① STANDARD BROOM FINISH CONCRETE
- ② 1/2" PREMOLDED BITUMINOUS FILLED EXPANSION JOINT, TYP (MAX SPACING 30' REFER TO HARDCAPE PLANS FOR LOCATIONS); SEE JOINT DETAILS
- ③ 6x6x6 WELDED WIRE MESH TO BE CHAIRED FROM SUBGRADE
- ④ 1/8" W X (SEE JOINT DETAIL) TOOLED CONTRACTION JOINT TYP
SEE HARDCAPE PLAN FOR LOCATION
- ⑤ 3500 PSI CONCRETE PAVING
- ⑥ COMPACTED SUBGRADE



1 1/2" = 1'-0"

- ① 3000 PSI CONCRETE, FINISH TO MATCH EXISTING
- ② #4 REBAR, 7" O.C.
- ③ EXPANSION JOINT
- ④ COMPACTED AGGREGATE BASE
- ⑤ COMPACTED SUBGRADE
- ⑥ SKATE STOPPER TO MATCH EXISTING



NOTES:
- FINISH TO MATCH EXISTING WALL
- EXISTING WALL TO BE SAW CUT PER
DEMOLITION PLANS

6 RIGHT-OUT MODIFIED CURB CUT

6 $1/2" = 1'-0"$

BENCHMARK
CITY OF MEMPHIS BENCH MARK # 1406. LOCATED AT THE INTERSECTION OF DANNY THOMAS
BOULEVARD & WASHINGTON AVENUE. ELEVATION = 229.89 (NAVD88)

100 YEAR FLOOD ELEVATION 233.00+
PER F.E.M.A PANEL 470177 0270F DATED SEPTEMBER 28, 2007. THIS PROPERTY IS LOCATED IN
ZONE X "AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN."

SEWER BASIN ID: FS-2
DRAINAGE BASIN: GAYOSO BAYOU 1-G

DWG NO.
C7-00

SHEET 1 OF 2

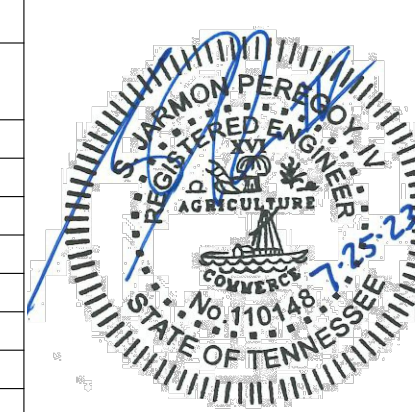
DIVISION OF ENGINEERING

CONSTRUCTION DETAILS

LOCATION: 255 N MAIN STREET
MEMPHIS, TN 38103

SURVEY HARRIS & ASSOC. DATE: 04/17/2023 BOOK: SEE SURVEY
DESIGN BY KHA DATE: 07/18/2023 SCALE: AS NOTED

DEPUTY CITY ENGINEER	DATE	CITY ENGINEER	DATE
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[illegible]

CANNON CENTER
VISITOR DROP-OFF

OWNER: CANNON CENTER FOR THE PERFORMING ARTS
ENGINEER: KIMLEY-HORN AND ASSOCIATES, INC.

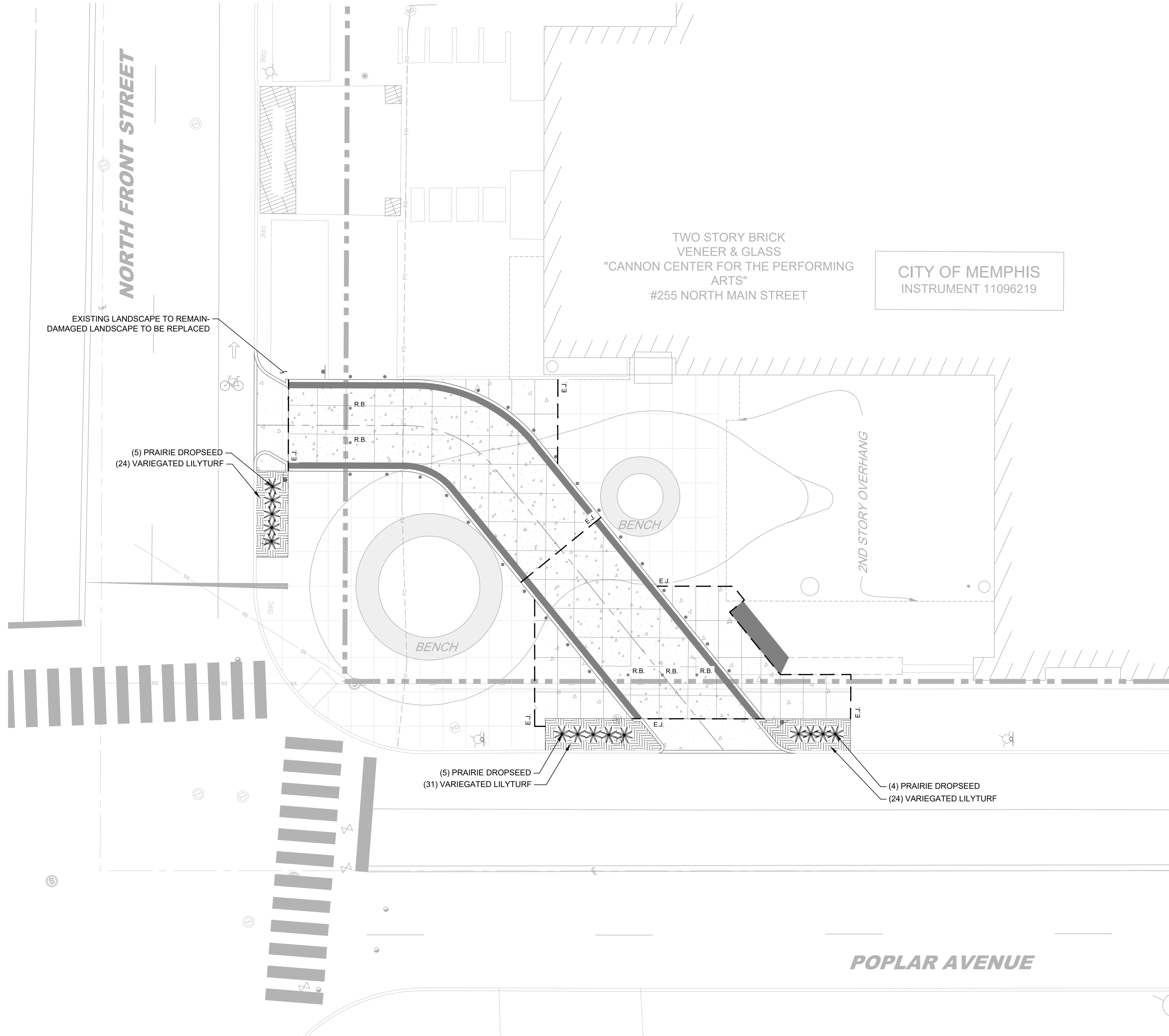


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6750 POPLAR AVENUE, SUITE 600, MEMPHIS TN 38133
PHONE: 901-374-9109
WWW.KIMLEY-HORN.COM



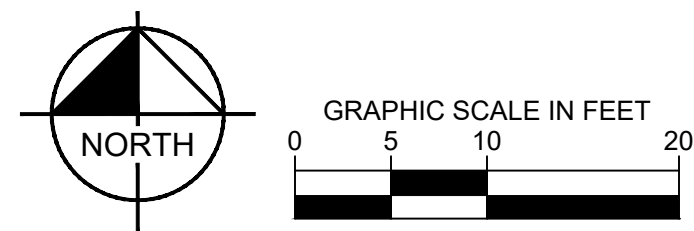
**Know what's below.
Call before you dig.**

Plotted By: Bryant, Tim Sheet Set: CANNON CENTER VISITOR DROP-OFF Layout: 11 July 25, 2023 01:59:29pm K:\MEM_LAP\15519001 - cannon center visitor drop-off\2-CADD\2-plansheets\L1-00 LANDSCAPE PLAN.dwg



PLANT SCHEDULE

SHRUBS	QTY	BOTANICAL / COMMON NAME	SIZE	ROOT	CONDITION
	14	Sporobolus heterolepis / Prairie Dropseed	24" HT. MIN.	Container	Full and Heavy
GROUND COVERS	QTY	BOTANICAL / COMMON NAME	SIZE	SPACING	CONDITION
	79	Liriope muscari 'Variegata' / VARIEGATED LILYTURF	1 GAL	18" O.C.	Matching; Free of Weeds

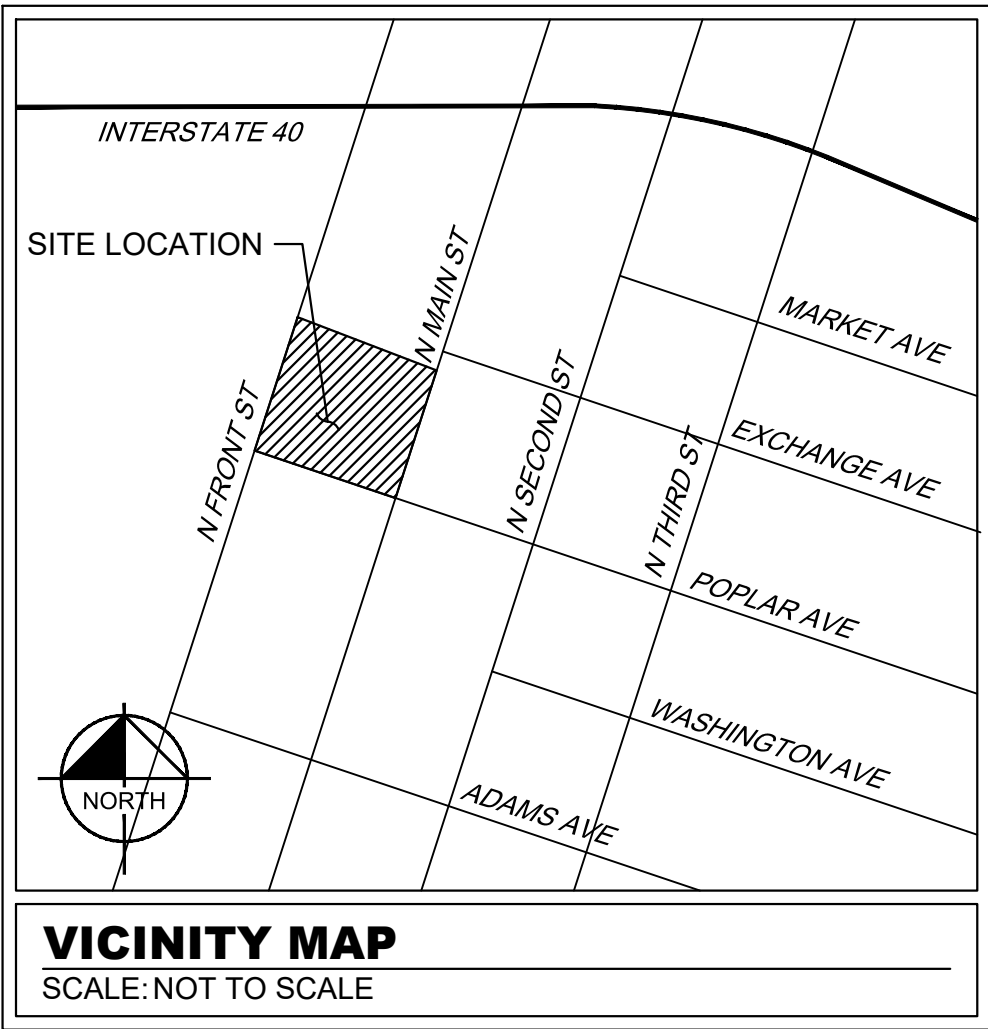


Kimley»Horn
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6750 POPLAR AVENUE, SUITE 600, MEMPHIS, TN 38138
PHONE: 901-374-9109
WWW.KIMLEY-HORN.COM

REVISION		
ITEM NO.	DESCRIPTION OF CHANGE	APPROVAL DATE



**CANNON CENTER
VISITOR DROP-OFF**
OWNER: CANNON CENTER FOR THE PERFORMING ARTS
ENGINEER: KIMLEY-HORN AND ASSOCIATES, INC.



BENCHMARK
CITY OF MEMPHIS BENCH MARK # 1406: LOCATED AT THE INTERSECTION OF DANNY THOMAS BOULEVARD & WASHINGTON AVENUE. ELEVATION = 229.89 (NAVD88)
100 YEAR FLOOD ELEVATION 233.00±
PER F.E.M.A PANEL 470177 0270F DATED SEPTEMBER 28, 2007, THIS PROPERTY IS LOCATED IN ZONE X "AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN".

SEWER BASIN ID: FS-2
DRAINAGE BASIN: GAYOSO BAYOU 1-G

DWG NO.
L1-00

SHEET **1** OF **2**
DIVISION OF ENGINEERING
LANDSCAPE PLAN

LOCATION: 255 N MAIN STREET
MEMPHIS, TN 38103

SURVEY: HARRIS & ASSOC. DATE: 04/17/2023 BOOK: SEE SURVEY
DESIGN BY: KHA DATE: 07/18/2023 SCALE: AS NOTED

DEPUTY CITY ENGINEER DATE CITY ENGINEER DATE

GENERAL LANDSCAPE SPECIFICATIONS AND NOTES

- 1.01 SCOPE OF WORK
- A. THE WORK CONSISTS OF: FURNISHING ALL LABOR, MATERIALS, EQUIPMENT, TOOLS, TRANSPORTATION, AND ANY OTHER APPURTENANCES NECESSARY FOR THE COMPLETION OF THIS PROJECT AS SHOWN ON THE DRAWINGS, AS INCLUDED IN THE PLANT LIST, AND AS HEREIN SPECIFIED.
- B. WORK SHALL INCLUDE MAINTENANCE AND WATERING OF ALL CONTRACT PLANTING AREAS UNTIL CERTIFICATION OF ACCEPTABILITY BY THE OWNER, INCLUDING TEMPORARY BERMUDA GRASS AREAS.
- C. THE CONTRACTOR SHALL CONTACT THE OWNER AND TENNESSEE ONE CALL AT (800) 351-1111, TWO (2) FULL BUSINESS DAYS PRIOR TO THE BEGINNING OF WORK.
- D. THE CITY MUST APPROVE ALL WORK HOURS AND LANE CLOSURE REQUESTS AT LEAST TWO (2) FULL WORKING DAYS IN ADVANCE OF THE START OF ANY SUCH WORK ON A LOCATION BY LOCATION BASIS. THE INDIVIDUAL(S) INSTALLING THE MAINTENANCE OF TRAFFIC SETUP SHALL HAVE COMPLETED A TDOT APPROVED WORK ZONE TRAFFIC CONTROL TRAINING COURSE. DOCUMENTATION SHALL BE FURNISHED TO THE CITY AT THE PRE-CONSTRUCTION MEETING OR PRIOR TO START OF WORK.
- E. ALL LANDSCAPE MATERIAL SHALL BE INSTALLED AND MAINTAINED IN A MANNER WHEREBY TRAFFIC CONTROL, SIGNAGE AND DEVICES ARE VISIBLE TO MOTORISTS AND PEDESTRIANS.
- 1.02 PROTECTION OF EXISTING STRUCTURES
- A. ALL EXISTING BUILDINGS, WALKS, WALLS, PAVING, PIPING, OTHER SITE CONSTRUCTION ITEMS, AND PLANTING ALREADY COMPLETED OR ESTABLISHED SHALL BE PROTECTED FROM DAMAGE BY THE CONTRACTOR UNLESS OTHERWISE SPECIFIED. ALL DAMAGE RESULTING FROM NEGLIGENCE SHALL BE REPAIRED OR REPLACED TO THE SATISFACTION OF THE OWNER AND AT NO COST TO THE OWNER.
- B. THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING ALL NECESSARY BMP DEVICES ACCORDING TO TDOT, COUNTY, OR CITY STANDARDS THROUGH THE DURATION OF ALL CONSTRUCTION ACTIVITIES.
- C. THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING ALL UTILITIES, WHETHER PUBLIC OR PRIVATE, PRIOR TO EXCAVATION. THE OWNER AND DESIGN PROFESSIONAL SHALL NOT BE RESPONSIBLE FOR THE ACCURACY AND COMPLETENESS OF ANY SUCH INFORMATION OR DATA, AND THE CONTRACTOR SHALL HAVE FULL RESPONSIBILITY FOR REVIEWING AND CHECKING ALL SUCH INFORMATION AND DATA, FOR LOCATING ALL UNDERGROUND FACILITIES DURING CONSTRUCTION, FOR THE SAFETY AND PROTECTION THEREOF, AND REPAIRING ANY DAMAGE THERETO RESULTING FROM THE WORK. THE COST OF COMPLIANCE WITH THIS SECTION WILL BE CONSIDERED AS HAVING BEEN INCLUDED IN THE CONTRACT PRICE. THE CONTRACTOR SHALL NOTIFY ANY AFFECTED UTILITY COMPANIES OR AGENCIES IN WRITING AT LEAST 48 HOURS PRIOR TO BEGINNING CONSTRUCTION.
- 1.03 PROTECTION OF EXISTING PLANT MATERIALS OUTSIDE LIMIT OF WORK
- A. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL UNAUTHORIZED CUTTING OR DAMAGE TO TREES AND SHRUBS EXISTING OR OTHERWISE, CAUSED BY CARELESS EQUIPMENT OPERATION, MATERIAL STOCKPILING, ETC. THIS SHALL INCLUDE COMPACTION BY DRIVING OR PARKING INSIDE THE DRIP-LINE AND SPILLING OIL, GASOLINE, OR OTHER DELETERIOUS MATERIALS WITHIN THE DRIP-LINE. NO MATERIALS SHALL BE BURNED ON SITE. EXISTING TREES KILLED OR DAMAGED SO THAT THEY ARE MISSHAPEN AND/OR UNSIGHTLY SHALL BE REPLACED AT THE COST TO THE CONTRACTOR OF ONE HUNDRED DOLLARS (\$100) PER CALIPER INCH ON AN ESCALATING SCALE WHICH ADDS AN ADDITIONAL TWENTY (20) PERCENT PER INCH OVER FOUR (4) INCHES CALIPER AS FIXED AND AGREED LIQUIDATED DAMAGES. CALIPER MEASUREMENT SHALL BE SIX (6) INCHES ABOVE GROUND LEVEL FOR TREES UP TO AND INCLUDING FOUR (4) INCHES IN CALIPER AND TWELVE (12) INCHES ABOVE GROUND LEVEL FOR TREES OVER FOUR (4) INCHES IN CALIPER.
- 1.04 MATERIALS
- A. GENERAL
- MATERIAL SAMPLES LISTED BELOW SHALL BE SUBMITTED FOR APPROVAL, ON SITE OR AS DETERMINED BY THE LANDSCAPE ARCHITECT. UPON APPROVAL, DELIVERY OF MATERIALS MAY COMMENCE.
- | MATERIAL | SAMPLE SIZE |
|--------------|--|
| MULCH | ONE (1) CUBIC FOOT |
| SOIL MIXTURE | ONE (1) CUBIC FOOT |
| TOPSOIL MIX | ONE (1) CUBIC FOOT |
| PLANTS | ONE (1) OF EACH VARIETY (OR TAGGED IN NURSERY) |
- B. PLANT MATERIALS
1. PLANT SPECIES AND SIZE SHALL CONFORM TO THOSE INDICATED ON THE DRAWINGS. ALL NURSERY STOCK SHALL BE IN ACCORDANCE WITH GRADIES AND STANDARDS AS SET FORTH IN ANSI Z60.1-2014-AMERICAN STANDARD FOR NURSERY STOCK. ALL PLANTS SHALL BE HEALTHY, VIGOROUS, SOUND, WELL-BRANCHED, AND FREE OF DISEASE AND INSECTS, INSPECT EGGS AND LARVAE AND SHALL HAVE ADEQUATE ROOT SYSTEMS. TREES FOR PLANTING IN ROWS SHALL BE UNIFORM IN SIZE AND SHAPE. ALL MATERIALS SHALL BE SUBJECT TO APPROVAL BY THE OWNER. WHERE ANY REQUIREMENTS ARE OMITTED FROM THE PLANT LIST, THE PLANTS FURNISHED SHALL BE NORMAL FOR THE VARIETY. PLANTS SHALL BE PRUNED PRIOR TO DELIVERY ONLY WITH APPROVAL FROM OWNER OR LANDSCAPE ARCHITECT. NO SUBSTITUTIONS SHALL BE MADE WITHOUT WRITTEN PERMISSION FROM THE LANDSCAPE ARCHITECT.
2. MEASUREMENTS: THE HEIGHT AND/OR WIDTH OF TREES SHALL BE MEASURED FROM THE GROUND OR ACROSS THE NORMAL SPREAD OF BRANCHES WITH THE PLANTS IN THEIR NORMAL POSITION. THIS MEASUREMENT SHALL NOT INCLUDE THE IMMEDIATE TERMINAL GROWTH. PLANTS LARGER IN SIZE THAN THOSE SPECIFIED IN THE PLANT LIST MAY BE USED IF APPROVED BY THE OWNER. IF THE USE OF LARGER PLANTS IS APPROVED, THE ROOTBALL OR SPREAD OF ROOTS SHALL BE INCREASED IN PROPORTION TO THE SIZE OF THE PLANT.
3. INSPECTION: PLANTS SHALL BE SUBJECT TO INSPECTION AND APPROVAL AT THE PLACE OF GROWTH, OR UPON DELIVERY TO THE SITE, AS DETERMINED BY THE OWNER, FOR QUALITY, SIZE, AND VARIETY; SUCH APPROVAL SHALL NOT IMPAIR THE RIGHT OF INSPECTION AND REJECTION AT THE SITE DURING PROGRESS OF THE WORK OR AFTER COMPLETION FOR SIZE AND CONDITION OF ROOT BALLS OR ROOTS. LATENT DEFECTS OR INJURIES. REJECTED PLANTS SHALL BE REMOVED IMMEDIATELY FROM THE SITE. NOTICE REQUESTING INSPECTION SHALL BE SUBMITTED IN WRITING BY THE CONTRACTOR AT LEAST ONE (1) WEEK PRIOR TO ANTICIPATED DATE.
- 1.05 SOIL MIXTURE (PLANTING MEDIUM, PLANTING MIX, TOPSOIL MIX)
- A. SOIL MIXTURE (PLANTING MEDIUM FOR PLANT PITS) SHALL CONSIST OF 1/3 LOOSE COMPOST (NO GREATER THAN 1" SIV), 1/3 PEAT AND 1/3 SAND, AS DESCRIBED BELOW, AND 2/3 TOPSOIL AS DESCRIBED BELOW.
- B. TOPSOIL FOR USE IN PREPARING SOIL MIXTURE FOR BACKFILLING PLANT PITS SHALL BE FERTILE, FRIABLE, AND OF A LOAMY CHARACTER; REASONABLY FREE OF SUBSOIL, CLAY LUMPS, BRUSH WEEDS AND OTHER LITTER, FREE OF ROOTS, STUMPS, STONES LARGER THAN 1" IN ANY DIRECTION, AND OTHER EXTRANEIOUS OR TOXIC MATTER HARMFUL TO PLANT GROWTH. IT SHALL CONTAIN THREE (3) TO FIVE (5) PERCENT DECOMPOSED ORGANIC MATTER AND A PH BETWEEN 5.5 AND 7.0 - SUBMIT SAMPLE AND PH TESTING RESULTS FOR APPROVAL.
- C. SAND SHALL BE COARSE, CLEAN, WELL-DRAINING, NATIVE SAND. CONTRACTOR SHALL SUBMIT RESULTS OF SOIL TESTS FOR TOPSOIL AND SAND PROPOSED FOR APPROVAL BY THE OWNER.
- D. CONTRACTOR TO SUBMIT SAMPLES OF SOIL MIXTURE FOR OWNER'S REPRESENTATIVE APPROVAL PRIOR TO PLANT INSTALLATION OPERATIONS COMMENCING.
- 1.06 WATER
- A. WATER NECESSARY FOR PLANTING AND MAINTENANCE SHALL BE OF SATISFACTORY QUALITY TO SUSTAIN ADEQUATE PLANT GROWTH AND SHALL NOT CONTAIN HARMFUL, NATURAL OR MAN-MADE ELEMENTS DETRIMENTAL TO PLANTS. WATER MEETING THE ABOVE STANDARD SHALL BE OBTAINED ON THE SITE FROM THE OWNER, IF AVAILABLE, AND THE CONTRACTOR SHALL BE RESPONSIBLE TO MAKE ARRANGEMENTS FOR

- ITS USE BY HIS TANKS, HOSES, SPRINKLERS, ETC. IF SUCH WATER IS NOT AVAILABLE AT THE SITE, THE CONTRACTOR SHALL PROVIDE SATISFACTORY WATER FROM SOURCES OFF THE SITE AT NO ADDITIONAL COST TO THE OWNER.
- * WATERING/IRRIGATION RESTRICTIONS MAY APPLY - REFER TO PROPERTY'S JURISDICTIONAL AUTHORITY.
- 1.07 FERTILIZER
- A. CONTRACTOR SHALL PROVIDE FERTILIZER APPLICATION SCHEDULE TO OWNER, AS APPLICABLE TO SOIL TYPE, PLANT INSTALLATION TYPE, AND SITE'S PROPOSED USE. SUGGESTED FERTILIZER TYPES SHALL BE ORGANIC OR OTHERWISE NATURALLY-DERIVED.
- * FERTILIZER RESTRICTIONS MAY APPLY - REFER TO PROPERTY'S JURISDICTIONAL AUTHORITY.
- 1.08 MULCH
- A. MULCH MATERIAL SHALL BE MOISTENED AT THE TIME OF APPLICATION TO PREVENT WIND DISPLACEMENT, AND APPLIED AT A DEPTH OF THREE (3) INCHES FOR ALL PLANTING AREAS. MULCH AT ALL PLANTING BEDS SHALL BE TRIPLE SHREDDED HARDWOOD MULCH.
- B. ALL PROPOSED TREES WITHIN TURF AREAS SHALL RECEIVE A TRIPLE SHREDDED HARDWOOD MULCH RING OF NO LESS THAN FOUR (4) FEET IN DIAMETER AND THREE (3) INCH DEPTH.
- 1.09 DIGGING AND HANDLING
- A. PROTECT ROOTS OR ROOT BALLS OF PLANTS AT ALL TIMES FROM SUN, DRYING WINDS, WATER AND FREEZING AS NECESSARY UNTIL PLANTING. PLANT MATERIALS SHALL BE ADEQUATELY PACKED TO PREVENT DAMAGE DURING TRANSIT.
- C. BALLED AND BURLAPPED PLANTS (B&B) SHALL BE DUG WITH FIRM, NATURAL BALLS OF SOIL OF SUFFICIENT SIZE TO ENCOMPASS THE FIBROUS AND FEEDING ROOTS OF THE PLANTS. NO PLANTS MOVED WITH A ROOT BALL SHALL BE PLANTED IF THE BALL IS CRACKED OR BROKEN. PLANTS SHALL NOT BE HANDLED BY STEMS.
- D. EXCAVATION OF TREE PITS SHALL BE PERFORMED USING EXTREME CARE TO AVOID DAMAGE TO SURFACE AND SUBSURFACE ELEMENTS SUCH AS UTILITIES OR HARDSCAPE ELEMENTS, FOOTERS AND PREPARED SUB-BASES. ALL TREES SHALL BE PLANTED AS INDICATED ON DRAWINGS. COORDINATE WITH PLANTING DETAILS FOR EXACT DEPTH OF PLANTING SOIL.
- 1.10 CONTAINER GROWN STOCK
- A. ALL TREES SPECIFIED SHALL BE BALL AND BURLAP, UNLESS OTHERWISE APPROVED BY LANDSCAPE ARCHITECT.
- B. ALL SHRUB SPECIES SHALL BE CONTAINER GROWN.
- C. ALL CONTAINER GROWN MATERIAL SHALL BE HEALTHY, VIGOROUS, WELL-ROOTED PLANTS ESTABLISHED IN THE CONTAINER IN WHICH THEY ARE SOLD. THE PLANTS SHALL HAVE TOPS WHICH ARE OF GOOD QUALITY AND ARE IN A HEALTHY GROWING CONDITION.
- D. AN ESTABLISHED CONTAINER GROWN PLANT SHALL BE TRANSPLANTED INTO A CONTAINER AND GROWN IN THAT CONTAINER SUFFICIENTLY LONG ENOUGH FOR THE NEW FIBROUS ROOTS TO HAVE DEVELOPED SO THAT THE ROOT MASS WILL RETAIN ITS SHAPE AND HOLD TOGETHER WHEN REMOVED FROM THE CONTAINER. CONTAINER GROWN STOCK SHALL NOT BE HANDLED BY THEIR STEMS.
- E. PLANT ROOTS BOUND IN CONTAINERS ARE NOT ACCEPTABLE.
- 1.11 MATERIALS LIST
- A. QUANTITIES NECESSARY TO COMPLETE THE WORK ON THE DRAWINGS SHALL BE FURNISHED BY THE CONTRACTOR. QUANTITY ESTIMATES HAVE BEEN MADE CAREFULLY, BUT THE LANDSCAPE ARCHITECT OR OWNER ASSUMES NO LIABILITY FOR OMISSIONS OR ERRORS. SHOULD A DISCREPANCY OCCUR BETWEEN THE PLANS AND THE PLANT LIST QUANTITY, THE OWNER'S REPRESENTATIVE SHALL BE NOTIFIED FOR CLARIFICATION PRIOR TO BIDDING OR INSTALLATION. ALL DIMENSIONS AND/OR SIZES SPECIFIED SHALL BE THE MINIMUM ACCEPTABLE SIZE.
- 1.12 FINE GRADING
- A. FINE GRADING UNDER THIS CONTRACT SHALL CONSIST OF FINAL FINISHED GRADING OF LAWN AND PLANTING AREAS THAT HAVE BEEN DISTURBED DURING CONSTRUCTION.
- B. THE CONTRACTOR SHALL FINE GRADE THE LAWN AND PLANTING AREAS TO BRING THE ROUGH GRADE UP TO FINAL FINISHED GRADE ALLOWING FOR THICKNESS OF SOD AND/OR MULCH DEPTH. CONTRACTOR SHALL FINE GRADE BY HAND AND/OR WITH ALL EQUIPMENT NECESSARY INCLUDING A GRADING TRACTOR WITH FRONT-END LOADER FOR TRANSPORTING SOIL WITHIN THE SITE.
- C. ALL PLANTING AREAS SHALL BE GRADED AND MAINTAINED FOR POSITIVE DRAINAGE TO SURFACE/SUBSURFACE STORM DRAIN SYSTEMS. AREAS ADJACENT TO BUILDINGS SHALL SLOPE AWAY FROM THE BUILDINGS. REFER TO GRADING PLAN FOR FINAL GRADIES, IF APPLICABLE.
- 1.13 PLANTING PROCEDURES
- A. CLEANING UP BEFORE COMMENCING WORK: THE CONTRACTOR SHALL CLEAN WORK AND SURROUNDING AREAS OF ALL RUBBISH OR OBJECTIONABLE MATTER DAILY. ALL MORTAR, CEMENT, AND TOXIC MATERIAL SHALL BE REMOVED FROM THE SURFACE OF ALL PLANT BEDS. THESE MATERIALS SHALL NOT BE MIXED WITH THE SOIL. SHOULD THE CONTRACTOR FIND SUCH SOIL CONDITIONS BENEATH THE SOIL WHICH WILL IN ANY WAY ADVERSELY AFFECT THE PLANT GROWTH, CONTRACTOR SHALL IMMEDIATELY CALL IT TO THE ATTENTION OF THE OWNER'S REPRESENTATIVE. FAILURE TO DO SO BEFORE PLANTING SHALL MAKE THE CORRECTIVE MEASURES THE RESPONSIBILITY OF THE CONTRACTOR.
- B. SUBGRADE EXCAVATION: THE CONTRACTOR IS RESPONSIBLE TO REMOVE ALL EXISTING AND IMPORTED LIMEROCK AND LIMEROCK SUB-BASE FROM ALL LANDSCAPE PLANTING AREAS TO A MINIMUM DEPTH OF 36" AT TREES AND 18" AT SHRUBS AND PERENNIALS. CONTRACTOR IS RESPONSIBLE TO BACKFILL THESE PLANTING AREAS TO ROUGH FINISH GRADE WITH CLEAN SOIL MIXTURE.
- C. VERIFY LOCATIONS OF ALL UTILITIES, CONDUITS, SUPPLY LINES AND CABLES, INCLUDING BUT NOT LIMITED TO: ELECTRIC, GAS (LINES AND TANKS), WATER, SANITARY SEWER, STORMWATER SYSTEMS, CABLE, AND TELEPHONE. PROPERLY MAINTAIN AND PROTECT EXISTING UTILITIES. CONTACT TENNESSEE ONE CALL AT (800) 351-1111 TO LOCATE ALL UTILITIES.
- D. FURNISH NURSERY'S CERTIFICATE OF COMPLIANCE WITH ALL REQUIREMENTS AS HEREIN SPECIFIED AND REQUIRED. INSPECT AND SELECT PLANT MATERIALS BEFORE PLANTS ARE DUG AT NURSERY OR GROWING SITE. PROVIDE PHOTOGRAPHS OF TREES TO LANDSCAPE ARCHITECT FOR APPROVAL PRIOR TO SHIPPING FROM NURSERY.
- E. GENERAL: COMPLY WITH APPLICABLE FEDERAL, STATE, COUNTY, AND LOCAL REGULATIONS GOVERNING LANDSCAPE MATERIALS AND WORK. CONFORM TO ACCEPTED HORTICULTURAL PRACTICES AS USED IN THE TRADE. UPON ARRIVAL AT THE SITE, PLANTS SHALL BE THOROUGHLY WATERED AND PROPERLY MAINTAINED UNTIL PLANTED. PLANTS STORED ON-SITE SHALL NOT REMAIN UNPLANTED OR APPROPRIATELY HEALED IN FOR A PERIOD EXCEEDING TWENTY-FOUR (24) HOURS. AT ALL TIMES WORKMANLIKE METHODS CUSTOMARY IN GOOD HORTICULTURAL PRACTICES SHALL BE EXERCISED.
- F. THE WORK SHALL BE COORDINATED WITH OTHER TRADES TO PREVENT CONFLICTS. COORDINATE PLANTING WITH IRRIGATION WORK TO ASSURE AVAILABILITY OF WATER AND PROPER LOCATION OF IRRIGATION APPURTENANCES AND PLANTS.
- G. ALL PLANTING PITS SHALL BE EXCAVATED TO SIZE AND DEPTH IN ACCORDANCE WITH ANSI Z60.1-2014 - AMERICAN STANDARD FOR NURSERY STOCK, UNLESS SHOWN OTHERWISE ON THE DRAWINGS, AND BACK FILLED WITH THE PREPARED PLANTING SOIL MIXTURE AS SPECIFIED IN SECTION 1.05. TEST ALL TREE PITS WITH WATER BEFORE PLANTING TO ASSURE PROPER DRAINAGE PERCOLATION IS AVAILABLE. NO ALLOWANCE WILL BE MADE FOR LOST PLANTS DUE TO IMPROPER DRAINAGE. TREES SHALL BE SET PLUMB AND HELD IN POSITION UNTIL THE PLANTING MIXTURE HAS BEEN FLUSHED INTO PLACE WITH A SLOW, FULL HOSE STREAM. ALL PLANTING SHALL BE PERFORMED BY PERSONNEL FAMILIAR WITH PLANTING PROCEDURES AND UNDER THE SUPERVISION OF A QUALIFIED LANDSCAPE FOREMAN.
- H. TAKE ALL NECESSARY PRECAUTIONS TO AVOID DAMAGE TO BUILDINGS AND BUILDING STRUCTURES WHILE

- INSTALLING TREES.
- I. SOIL MIXTURE SHALL BE AS SPECIFIED IN SECTION 1.05 OF THESE SPECIFICATIONS.
- J. TREES AND SHRUBS SHALL BE SET STRAIGHT AT AN ELEVATION THAT, AFTER SETTLEMENT, THE PLANT CROWN WILL STAND ONE (1) TO TWO (2) INCHES ABOVE GRADE. EACH PLANT SHALL BE SET IN THE CENTER OF THE PIT. PLANTING SOIL MIXTURE SHALL BE BACK FILLED, THOROUGHLY TAMPED AROUND THE BALL, AND SETTLED BY WATER (AFTER TAMPING).
- K. SHRUBS AND GROUND COVER PLANTS SHALL BE EVENLY SPACED IN ACCORDANCE WITH THE DRAWINGS AND AS INDICATED ON THE PLANT LIST. MATERIALS INSTALLED SHALL MEET MINIMUM SPECIMEN REQUIREMENTS OR QUANTITIES SHOW ON PLANS, WHICHEVER IS GREATER. CULTIVATE ALL PLANTING AREAS TO A MINIMUM DEPTH OF 12". REMOVE AND DISPOSE ALL DEBRIS. COORDINATE WITH PLANTING DETAILS FOR EXACT DEPTH. MIX TOP 4" OF THE PLANTING SOIL MIXTURE AS SPECIFIED IN SECTION 1.05. THOROUGHLY WATER ALL PLANTS AFTER INSTALLATION.
- L. TREE BRACING SHALL BE INSTALLED BY THE CONTRACTOR IN ACCORDANCE WITH THE PLANS TO INSURE STABILITY AND MAINTAIN TREES IN AN UPRIGHT POSITION. IF THE CONTRACTOR AND OWNER DECIDE TO WAIVE THE TREE GUYING AND BRACING, THE OWNER SHALL NOTIFY THE PROJECT LANDSCAPE ARCHITECT IN WRITING AND AGREE TO INDEMNIFY AND HOLD HARMLESS THE PROJECT LANDSCAPE ARCHITECT IN THE EVENT UNSUPPORTED TREES PLANTED UNDER THIS CONTRACT FALL AND DAMAGE PERSON OR PROPERTY.
- M. HERBICIDE WEED CONTROL: ALL PLANT BEDS SHALL BE KEPT FREE OF NOXIOUS WEEDS UNTIL FINAL ACCEPTANCE OF WORK. IF DIRECTED BY THE OWNER, "ROUND-UP" SHALL BE APPLIED FOR WEED CONTROL BY QUALIFIED PERSONNEL TO ALL PLANTING AREAS IN SPOT APPLICATIONS PER MANUFACTURER'S PRECAUTIONS AND SPECIFICATIONS. PRIOR TO FINAL INSPECTION, TREAT ALL PLANTING BEDS WITH AN APPROVED PRE-EMERGENT HERBICIDE AT AN APPLICATION RATE RECOMMENDED BY THE MANUFACTURER (AS ALLOWED BY JURISDICTIONAL AUTHORITY).
- 1.14 LAWN SODDING
- A. THE WORK CONSISTS OF LAWN BED PREPARATION, SOIL PREPARATION, AND SODDING COMPLETE, IN STRICT ACCORDANCE WITH THE SPECIFICATIONS AND THE APPLICABLE DRAWINGS TO PRODUCE A TURF GRASS LAWN ACCEPTABLE TO THE OWNER.
- B. LAWN BED PREPARATION: ALL AREAS THAT ARE TO BE SODDED SHALL BE CLEARED OF ANY ROUGH GRASS, WEEDS, AND DEBRIS BY MEANS OF A SOD CUTTER TO A DEPTH OF THREE (3) INCHES, AND THE GROUND BROUGHT TO AN EVEN GRADE. THE ENTIRE SURFACE SHALL BE ROLLED WITH A ROLLER WEIGHING NOT MORE THAN ONE-HUNDRED (100) POUNDS PER FOOT OF WIDTH. DURING THE ROLLING, ALL DEPRESSIONS CAUSED BY SETTLEMENT SHALL BE FILLED WITH ADDITIONAL SOIL, AND THE SURFACE SHALL BE REGRADED AND ROLLED UNTIL PRESENTING A SMOOTH AND EVEN FINISH TO THE REQUIRED GRADE.
- C. SOIL PREPARATION: PREPARE LOOSE BED SIX (6) INCHES DEEP. HAND RAKE UNTIL ALL BUMPS AND DEPRESSIONS ARE REMOVED. WET PREPARED AREA THOROUGHLY.
- D. SODDING
1. THE CONTRACTOR SHALL SOD ALL DISTURBED AREAS WITHIN THE CONTRACT LIMITS NOT COVERED BY HARDSCAPE OR VEGETATIVE MATERIAL, UNLESS SPECIFICALLY NOTED OTHERWISE.
2. SOD PANELS SHALL BE LAID TIGHTLY TOGETHER SO AS TO MAKE A SOLID SODDED LAWN AREA. SOD SHALL BE LAID UNIFORMLY AGAINST THE EDGES OF ALL CURBS AND OTHER HARDSCAPE ELEMENTS, PAVED AND PLANTED AREAS. IMMEDIATELY FOLLOWING SOD LAYING, THE LAWN AREAS SHALL BE ROLLED WITH A LAWN ROLLER CUSTOMARILY USED FOR SUCH PURPOSES, AND THEN THOROUGHLY IRRIGATED. IF, IN THE OPINION OF THE OWNER, TOP DRESSING IS NECESSARY AFTER ROLLING TO FILL THE VOIDS BETWEEN THE SOD PANELS AND TO EVEN OUT INCONSISTENCIES IN THE SOD, CLEAN SAND, AS APPROVED BY THE OWNER'S REPRESENTATIVE, SHALL BE UNIFORMLY SPREAD OVER THE ENTIRE SURFACE OF THE SOD AND THOROUGHLY WATERED IN. FERTILIZE INSTALLED SOD AS ALLOWED BY PROPERTY'S JURISDICTIONAL AUTHORITY.
3. DURING DELIVERY, PRIOR TO, AND DURING THE PLANTING OF THE LAWN AREAS, THE SOD PANELS SHALL AT ALL TIMES BE PROTECTED FROM EXCESSIVE DRYING AND UNNECESSARY EXPOSURE OF THE ROOTS TO THE SUN. ALL SOD SHALL BE STACKED SO AS NOT TO BE DAMAGED BY SWEATING OR EXCESSIVE HEAT AND MOISTURE.
- E. LAWN MAINTENANCE
1. WITHIN THE CONTRACT LIMITS, THE CONTRACTOR SHALL PRODUCE A DENSE, WELL-ESTABLISHED LAWN. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE REPAIR AND RE-SODDING OF ALL ERODED, SUNKEN OR BARE SPOTS (LARGER THAN 12"x12") UNTIL CERTIFICATION OF ACCEPTABILITY BY THE OWNER'S REPRESENTATIVE. REPAIRED SODDING SHALL BE ACCOMPLISHED AS IN THE ORIGINAL WORK (INCLUDING RE-GRADING IF NECESSARY).
2. CONTRACTOR SHALL BE RESPONSIBLE FOR ESTABLISHING AND MAINTAINING SOD/LAWN UNTIL ACCEPTANCE BY THE OWNER'S REPRESENTATIVE. PRIOR TO AND UPON ACCEPTANCE, CONTRACTOR PROVIDE WATERING/IRRIGATION SCHEDULE TO OWNER. OBSERVE ALL APPLICABLE WATERING RESTRICTIONS AS SET FORTH BY THE PROPERTY'S JURISDICTIONAL AUTHORITY.

